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HON. MARIANE C. SPEARMAN

IN THE SUPERIOR COURT OF THE STATE OF WASHINGTON  
IN AND FOR THE COUNTY OF KING

BENCHVIEW NEIGHBORHOOD  
ASSOCIATION, a Washington unincorporated  
association,

Petitioner,

v.

CITY OF SEATTLE, a Washington municipal  
corporation; BLUEPRINT SERVICES, LLC, a  
Washington limited liability company; DAVID  
BIDDLE, an individual Washington resident;  
ALL DAY CONSTRUCTORS, LLC, a  
Washington limited liability company; and  
JMS HOMES, INC., a Washington  
corporation,

Respondents.

No. 13-2-05025-1

DECLARATION OF MELODY B.  
McCUTCHEON IN SUPPORT OF  
RESPONDENTS' MOTION FOR  
RECONSIDERATION OR CLARIFICATION

I, Melody B. McCutcheon, make this declaration on my personal knowledge. I am  
more than 18 years old and am competent to testify in this matter.

1. Attached are true and correct copies of the following:

A. City of Seattle Department of Planning and Development ("DPD")

Client Assistance Memo #312;



# Seattle Permits

— part of a multi-departmental City of Seattle series on getting a permit

## Decks, Fences and Arbors for Single Family Homes in Seattle

Updated July 11, 2006

This Client Assistance Memo (CAM) addresses the questions most commonly asked by homeowners wishing to construct decks, fences and arbors for their single family residences on Single Family and lowrise Multifamily zoned properties.

Decks vary widely in the scope of their construction, some requiring permits from the Department of Planning and Development (DPD). Fences generally do not require a building permit, but there are regulations that need to be followed. Arbors generally require a building permit.

### Decks

#### When do I need a building permit for a deck addition to my Single Family residence?

A permit is required if any portion of the deck is more than 18 inches above grade, or over any basement or story below. (Seattle Residential Code R105.2 Item 7).

#### How do I obtain a deck permit?

For most Single Family decks, a subject-to-field-inspection permit is issued within a couple of days of application at the DPD Applicant Services Center (ASC), located on the 20th floor of Seattle Municipal Tower, 700 Fifth Ave., (206) 684-8850.

#### What information will I need to apply for a deck permit?

##### ■ Site Plan

A scaled site plan which shows all structures on your site, including the proposed deck, is the primary requirement. The site plan dimensions must show that the deck meets land use requirements for location and lot area coverage. (See CAM 103)

##### ■ Elevation drawing

A scaled elevation drawing which shows the height of the proposed deck, including any guardrails and stairs, is required. Elevation drawings offer side views of structures, from the ground to the top of the structure being shown. (See CAM 303)

##### ■ Construction notes

Notes on your drawings should call out the size and type of posts proposed (e.g., pressure treated wood), the method of support for the posts (e.g., poured footings), joist size, span and spacing, and the method of attaching the deck to the house (e.g., joist hangers). (See CAM 303A)

##### ■ A field inspection application form

These may be obtained and filled out at the ASC when you apply. You will need the assessor's parcel number and legal description for your property.

*Please note that homeowners may do their own drawings. A professional-stamp is rarely required on these plans.*

#### What are the land use requirements for decks?

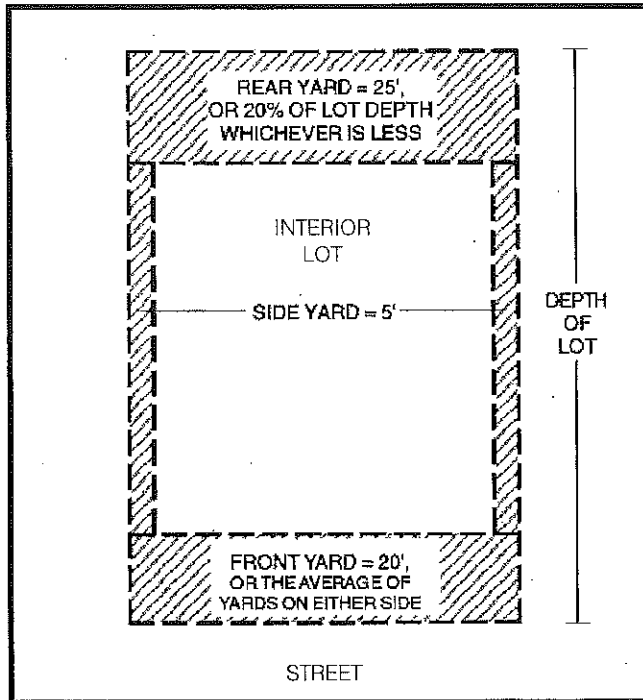
##### ■ Lot coverage

For most Single Family zoned lots, the total lot coverage limit is 35% or 1,750 square feet, whichever is greater. For lots zoned Lowrise Duplex/Triplex, the limit is also 35%. For lots zoned Lowrise 1 and 2, the limit is 40%. Lot coverage includes ALL structures more than 18 inches above grade, with exceptions for features such as eaves and gutters, barrier-free access ramps, access bridges, and fences. For more information on these exceptions, see the Seattle Land Use Code 23.44.010D for Single Family zoned lots, and 23.45.010C for Multifamily zoned lots.

##### ■ Location

*Single Family Lots.* As shown in the illustration of a typical interior lot in Seattle (**see Figure 1**), there are portions of your lot in the front, sides and back, in which decks more than 18 inches above grade are not allowed. Generally, no decks above 18 inches are allowed in the front 20 feet of your lot, the side 5 feet, and the rear 25 feet (or the rear





**Figure 1. Typical Interior Single Family Lot in Seattle**

20% of the lot depth, whichever is less. Note: The minimum required depth of a rear yard is 10 feet.) CAM 220 explains in greater detail the yard limitations in single family zones. Please discuss specific conditions, including corner and through lots, with DPD staff in the ASC.

**Important exception to rear yard provisions:**

Covered, attached decks may project into the required rear yard as long as the deck is no closer than 12'-0" to the rear property line, and the deck cover is no taller than 12'-0" above the existing or finished grade, whichever is lower.

Roof decks on garages and carports located in required yards are generally prohibited, with some exceptions for safety guardrails. Roof decks on houses must meet the general location standards for houses, with some exceptions for existing nonconforming houses. An open railing four feet above the maximum allowable height for houses is allowed for roof decks.

*Residential Small Lot Zones.* Please discuss with DPD staff in the ASC.

*Lowrise Duplex/Triplex and Lowrise 1 & 2 Lots.* For deck additions to single family residences in these multifamily zones, please discuss your project with DPD staff in the ASC. The rules in these zones are similar to Single Family zones.

**What are the land use requirements for decks 18 inches or less above grade?**

Decks 18 inches or less above grade are allowed throughout your lot, and do not count as lot coverage.

**What are the main Building Code requirements for deck additions to single family residences?**

■ **Structural**

The deck design must provide sufficient structural support and attachment. Minimum live load design is 40 pounds per square foot. Questions about structural requirements should start with permit specialists in the ASC.

■ **Guardrail**

A guardrail is required for deck surfaces more than 30 inches above adjacent surfaces. The following standards apply to guardrails: minimum height 36 inches, maximum openings 4 inches.

■ **Stairs**

When proposed, these are the stair requirements: maximum rise 7-3/4 inches, minimum run 10 inches, minimum width 36 inches. One handrail is required for stairs with four or more risers. When required, these are handrail requirements: must be from 34 to 38 inches above the nosing of treads and landings; the handgrip shall be from 1-1/4 to 2 inches in cross-sectional dimension.

■ **Decks over windows of habitable space**

When a deck is built above windows to habitable rooms, the deck must be at least 7 feet above grade, and a longer side of the deck must be open and unobstructed for at least 65% of its length.

■ **Wood/earth separation**

Treated wood or wood of natural resistance to decay is required for wood in contact with concrete, or wood close to earth.

**Fences**

**When do I need a building permit for a fence for my single family residence?**

Permits are not required for fences which do not exceed 8 feet in height, and with no masonry or concrete elements over 6 feet. (Seattle Residential Code R105.2 Item 4)

**What are the land use requirements for fences?**

■ **Lot coverage**

Fences do not count in lot coverage.

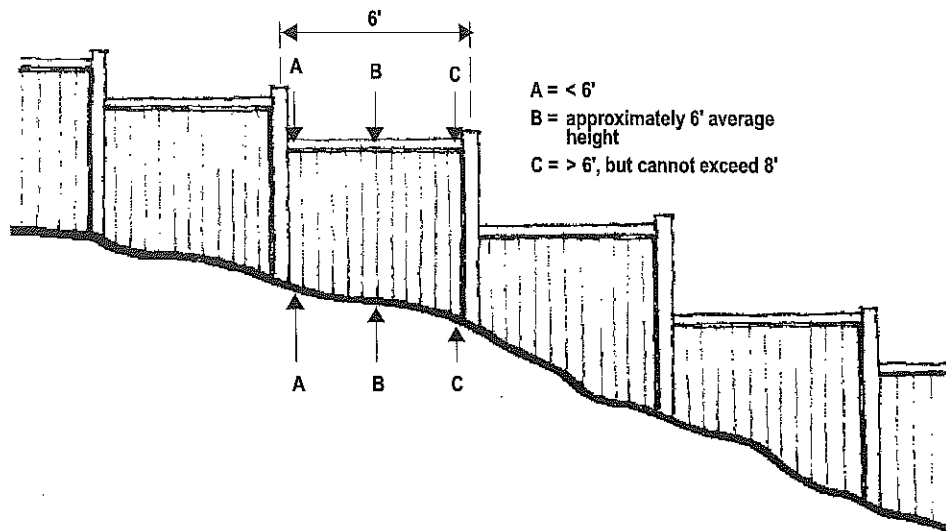


Figure 2. Averaging Fence Height for Sloping Lot Conditions

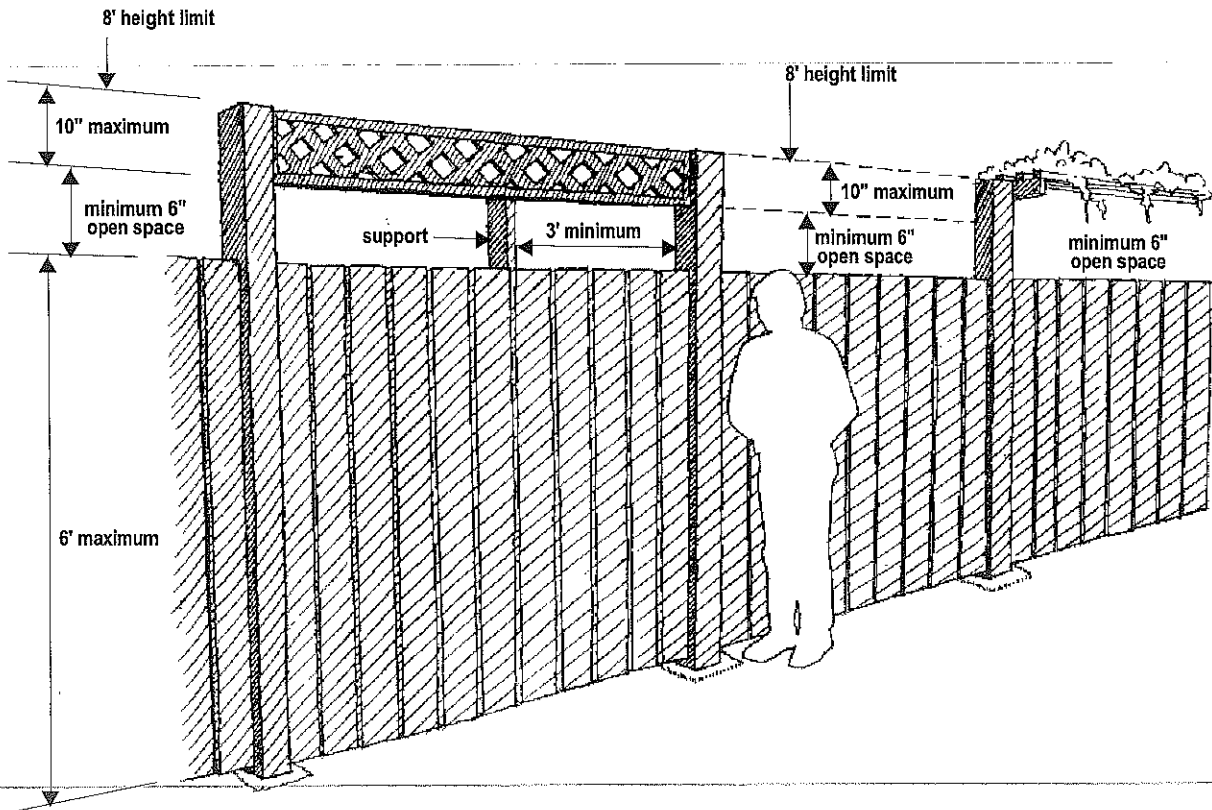


Figure 3. Height Requirements for Fences with Trellises

■ **Height**

*Single Family and Multifamily Lots.* For single family residences on Single Family and Multifamily lots, fences in required yards and setbacks are allowed if they are 6 feet or less above existing or finished grade, whichever is lower. For sloping lot conditions, the height may be averaged for each six foot segment, with no height greater than 8 feet. (See **Figure 2**).

Architectural features such as trellises may be added to the top of a 6 foot fence, up to 8 feet above grade, but without averaging. The space above the six foot fence must be predominantly open. (See **Figure 3**). Talk to DPD staff at the ASC about specific standards for these features.

If you wish to place a fence above a retaining wall used to raise the grade of your property, the combined height of the retaining wall and fence is limited to 9-1/2 feet. If the retaining wall is necessary to protect a cut in grade, the normal height limitations apply to the fence, as long as the fence is set back three feet from the retaining wall.

■ **Location**

Fences which do not exceed the height standards described above are allowed anywhere on the property.

■ **Fence sides**

City codes do not regulate fence sides. Either side may face your property.

**Arbors**

Seattle's Land Use Code defines arbors as landscape structures, freestanding or attached to another structure, consisting of an open frame with horizontal and/or vertical latticework.

**When do I need a permit for an arbor for my single family residence?**

Permits are not required for arbors not exceeding 120 square feet in projected area. (Seattle Residential Code 105.2 Item 5)

**How do I obtain an arbor permit?**

For most arbors, a Subject-to-Field-Inspection permit is issued at the ASC, within a couple of days of applications.

**What information do I need to apply for an arbor permit?**

The same drawings are required as are listed above for deck permits.

**What are the land use requirements for arbors?**

■ **Lot coverage**

In Single Family zones, arbors are exempt from lot coverage requirements; however, in Multifamily Lowrise zones, arbors are not exempt from lot coverage requirements. Lot coverage requirements in Lowrise zones vary according to the type of structure and the designated Lowrise zone; please refer to section 23.45.010 of the Seattle Land Use Code for the specific requirements.

■ **Location**

*Single Family and Multifamily Lots.* Arbors are allowed in required yards if they meet the following provisions: in any required yard, an arbor may be erected with no more than a forty square foot footprint, including eaves, to a maximum height of 8 feet. Both the sides and the roof must be at least 50% open, or, if latticework is used, there must be a minimum opening of 2 inches between crosspieces. Additionally, in any required yard abutting a street, an arbor with a footprint no greater than 30 square feet is allowed over a private pedestrian walkway. The arbor must be open as described above.

**What are the Building Code Requirements for Arbors?**

■ **Structural**

Like fences, the primary focus is on the posts and supports, as well as any attachments to other structures. You may wish to discuss your proposal with DPD staff at the ASC.

**Questions?**


For further information please contact a permit specialist or land use planner at the ASC, located on the 20th floor of Seattle Municipal Tower, 700 Fifth Ave., or call (206) 684-8850.

**Access to Information**

Links to electronic versions of DPD **Client Assistance Memos (CAMs)**, **Director's Rules**, and the **Seattle Municipal Code** are available on the "Publications" and "Codes" pages of our website at [www.seattle.gov/dpd](http://www.seattle.gov/dpd). Paper copies of these documents, as well as additional regulations mentioned in this CAM, are available from our Public Resource Center, located on the 20th floor of Seattle Municipal Tower at 700 Fifth Ave. in downtown Seattle, (206) 684-8467.



# Director's Rule 10-95

<b>Applicant</b>  City of Seattle Department of Construction and Land Use	<b>Page</b> <b>of</b> 1            3	<b>Supersedes</b> DR 9-94
	<b>Publication</b> 5-2-96	<b>Effective</b> 7-1-96
	<b>Code and Section Reference</b> N/A	
<b>Subject</b>  Attached vs. Detached as Applied to Accessory Structures and Accessory Uses	<b>Type of Rule</b> Code Interpretation	
	<b>Ordinance Authority</b> 3.060.040 SMC	
	<b>Approved</b> 	<b>Date</b> 7/1/96
<b>Index</b>  Land Use Code Technical		

### BACKGROUND

A distinction is made in the use and development standards of The Land Use Code between detached accessory structures and portions of principal structures. For example, provisions allowing portions of principal structures to extend into required yards in the Single Family zones are much more limited than provisions governing detached accessory structures.

In addition, certain activities and uses such as home occupations and accessory dwelling units are not permitted in detached accessory structures. These accessory uses are allowed only if clearly incidental to the use of the property. They are required to be located in the principal structure to limit the size and impact of the uses on neighboring properties and to preserve the residential character of the property.

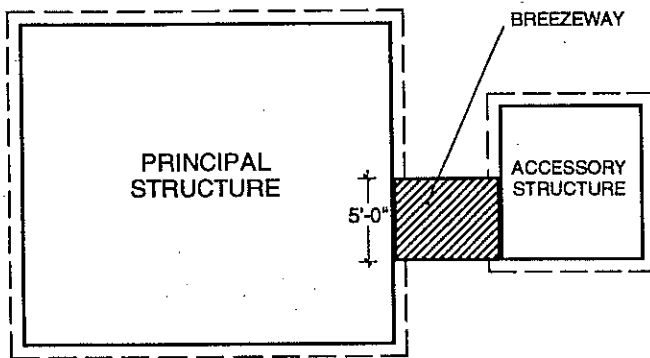
Therefore, it is necessary to clearly define the *physical circumstances* that are considered attachment for the purposes of regulating both accessory structures and accessory uses.



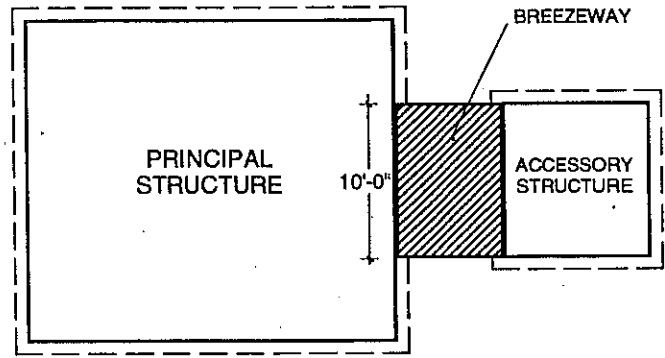
**RULE**

1. When an accessory structure is located in a required yard or setback, the following shall apply:

- a) An accessory structure is *detached* from a principal structure if it is not physically connected to that other structure. However, connection of two otherwise separate structures by a minor attachment shall not render these structures attached. Examples of minor attachments include, but are not limited to, decks 18" or less above grade, arbors and fences, and similar open unenclosed structures. Breezeways no wider than 5'-0", whose connection to the principal structure is no more than 5'-0" wide shall also be considered a minor attachment. Breezeways shall be open on both sides along the length of the pedestrian pathway between structures. The length of the breezeway, considered to be the distance the breezeway extends between the principal and accessory structures, shall not be limited provided all other applicable development standards are met. See examples below.



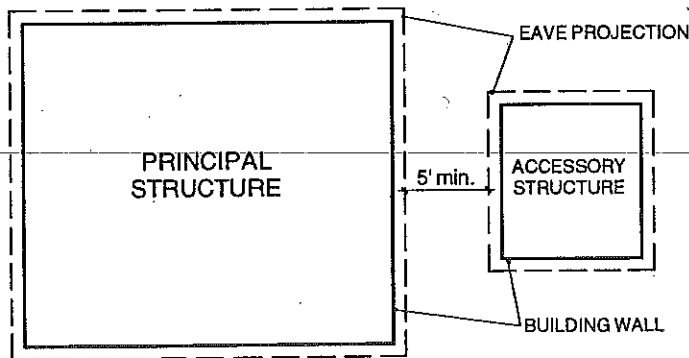
**Breezeway considered  
Minor Attachment**



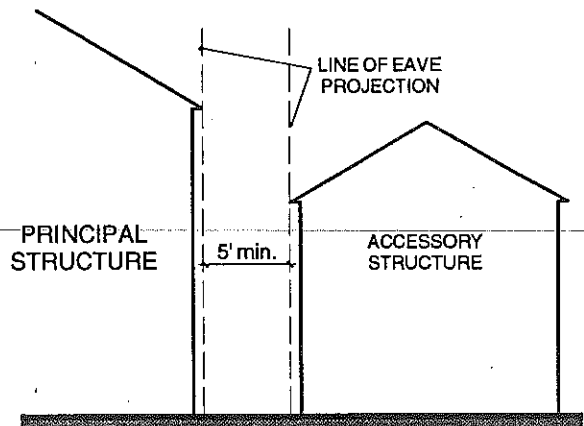
**Breezeway attaches  
Structures**

Accessory structures connected by more than a minor attachment shall be considered part of the principal structure, and shall be subject to the development standards for a principal structure.

- b) The required "separation" between principal structures and accessory structures (which are located in required yards or setbacks) shall be determined by measuring the projected horizontal distance from the closest feature on the principal structure (e.g. eaves) to the closest feature on the accessory structure. Minor attachments, described in item "a" above, may be located in the required separation and shall not render the structures attached. See diagram below.



**PLAN VIEW**



**SECTION**



- c) Existing detached accessory structures located in required yards or setbacks that do not meet the required separation standard for the zone shall be considered legally nonconforming, provided they were built under permit or complied with applicable development standards at the time they were built.

Existing accessory structures located in required yards or setbacks which are connected to principal structures by open, unenclosed attachments which are more substantial than the minor attachments described in item "1a" above shall be considered part of the principle structure and shall be prohibited from expanding, extending or enclosing in any way which will increase the non-conformity.

- 2. When an accessory use is required to be located in the principal structure, the portion of structure where the accessory use is located shall be physically connected by a building component which has usable interior living space on both sides, such as living space on each side of a common wall, or living space above and below a common ceiling/floor system. See examples below.
  - a) Accessory dwelling units shall be located in the principal structure. The wall or floor which separates the principal dwelling unit from the accessory dwelling unit shall be located such that usable interior space of each dwelling unit is located on each side of the wall or floor. Enclosed garages and similar accessory spaces which are part of the principal structure may be considered usable interior space of a dwelling unit for this purpose.
  - b) Accessory uses such as, but not limited to, home occupations and bed and breakfast shall be located in the principal structure and shall have direct interior access from within the principal dwelling unit.

**Project # 3015897**

<b>Address</b>	3650 55th Ave SW	<b>Permit Number</b>	
<b>Location</b>		<b>Permit Status</b>	Submittal Accepted
<b>Records Filed At</b>	3650 55th Ave SW	<b>Application Date</b>	Jul 29, 2013
<b>Application Type</b>	POST DECISION SUBMITTAL	<b>Issue Date</b>	
<b>Work Type</b>	FULL REVIEW (COMPLEX)	<b>Expiration Date</b>	Feb 13, 2016
<b>Category</b>	SINGLE FAMILY / DUPLEX	<b>Finalized Date</b>	
<b>King Co. Assessor's #</b>		<b>Owner</b>	<b>RON DAY</b> ALL DAY CONSTRUCTION 6920 ROOSEVELT WAY NE #258 SEATTLE, WA 98115
<b>Zone/Overlays and ECA</b>	SF5000		
<b>Legal Description</b>	PARCEL A, LBA 3014542	<b>Contractor</b>	
<b>Description of Work</b>	Post Land Use Revision to Lot Boundary Adjustment 3014542. Revision consists of an adjustment to the previously approved lot lines. Resulting new parcel sizes are A) 4,527.8 sq. ft.; B) 3,750.1 sq. ft. and C) 3,313.2 sq. ft. Existing Single Family Residence to remain and existing detached garage to be demolished.	<b>Permit Remarks</b>	
<b>Related Permits</b>	<a href="#">3014542</a>	<b>Related Bldg Permits</b>	
<b>Related Cases</b>			

**Project # 3015897****Fees & Receipts**

**Go to** *\*Not all fees are eligible for online payment*

**Fees** *All fees are subject to change until permit is ready to issue. Final fees are established at issuance.*

Date Paid	Status	Description	Fee	Quantity	Amount	Paid
07/29/13	Paid	INTAKE APPOINTMENT FOR LAND USE REVIEWS	\$181.00	1	\$181.00	\$181.00
07/29/13	Paid	REVISION - MINIMUM	\$250.00	1	\$250.00	\$250.00
				<b>Total Amount</b>	<b>\$431.00</b>	<b>\$431.00</b>

**Project # 3015897****Contacts****Project Contacts**

Name	Primary	Capacity
<b>DAVE BIDDLE</b> BLUEPRINT SERVICES 2701 CALIFORNIA AVENUE SW SUITE #208 SEATTLE, WASHINGTON 98116	YES	Applicant

Name	Primary	Capacity
<b>RON DAY</b> ALL DAY CONSTRUCTION 6920 ROOSEVELT WAY NE #258 SEATTLE, WA 98115	NO	Financially Responsible Party
<b>RON DAY</b> ALL DAY CONSTRUCTION 6920 ROOSEVELT WAY NE #258 SEATTLE, WA 98115	NO	Owner

**LOT BOUNDARY ADJUSTMENT NUMBER 3014542-AMENDED**

GRANTOR (Owners): RON DAY CONTACT PERSON: DAVE BIDDLE  
JMS HOMES, LLC  
SILVERADO DEVELOPMENT, LLC 2701 CALIFORNIA AVE SW #208  
 SEATTLE, WA 98116  
 CITY OF SEATTLE  
 KING COUNTY, WASHINGTON PH. 206-282-9270

GRANTEE: CALLOW'S 5-14  
 ADDITION VOL. PG.  
 LOTS BLOCK (TOWNSHIP) (RANGE)

FOR COMPLETE LEGAL DESCRIPTIONS, SEE PAGE 1 OF 3  
 ASSESSOR'S PROPERTY TAX PARCEL/ACCOUNT # 1309330-0095

REFERENCE NUMBERS FOR RELATED PROJECTS:

**DECLARATION:**

We the undersigned, owner(s) in fee simple [and contract purchaser(s)] of the land herein described do hereby make a lot boundary adjustment thereof pursuant to RCW 58.17.040(6) and declare this lot boundary adjustment to be the graphic representation of same, and that said lot boundary adjustment is made with free consent and in accordance with the desire of the owner(s), and in witness whereof we have set our hands and seals.

NAME \_\_\_\_\_ TITLE \_\_\_\_\_  
 STATE OF WASHINGTON, } ss.  
 County of \_\_\_\_\_

On this day personally appeared before me \_\_\_\_\_ to me known to be the individuals described in and who executed the instrument hereon, and who acknowledged to me that they signed the same as their free and voluntary act and deed, for the uses and purposes therein mentioned.  
 GIVEN under my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_\_.

NOTARY PUBLIC in and for the State of Washington, residing at \_\_\_\_\_ Commission Expires \_\_\_\_\_

APPROVAL  
 CITY OF SEATTLE  
 DEPARTMENT OF PLANNING & DEVELOPMENT  
 DIANE SUGANUBA, DIRECTOR

Examined and approved this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_\_  
 By: \_\_\_\_\_ Director

(Note: Approval of this lot boundary adjustment by the Director of the Department of Planning & Development under Chapter 23.28 of the Seattle Municipal Code, as amended, is not to be construed as satisfaction of any other applicable legislation or regulations.)

KING COUNTY DEPARTMENT OF ASSESSMENTS

Examined and approved this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_\_  
 Assessor \_\_\_\_\_

**RECORDING CERTIFICATE**

Filed for record this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_\_, in Book \_\_\_\_\_ of Surveys at Page \_\_\_\_\_, Records of \_\_\_\_\_ KING \_\_\_\_\_ County, Washington at the request of BRENT EBLE.

Auditor \_\_\_\_\_ Deputy Auditor \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

This map represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of RON DAY/JMS HOMES/SILVERADO DEV in \_\_\_\_\_, 201\_\_\_\_\_.  
 Certificate Number 30581



**RECORD OF SURVEY**  
 Ron Day  
 JMS Homes, LLC  
 Silverado Development, LLC  
 3650 55th Avenue Southwest  
 Seattle, WA 98116

SURVEY IN S.E. 1/4, N.E. 1/4,  
 SEC. 15, T. 24N., R. 3E.

DWN. BY: DATE: 7/25/13 JOB NO. 12077  
 BLE

CHK. BY: SCALE: 1"= 20' SHEET 1 OF 3  
 BLE

**SUPERCEDES AFN 20130214900003**

**PARCEL A (EXISTING)**

LOT 10 AND 11, BLOCK 2, CALLOW'S ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN RECORDS OF KING COUNTY, WASHINGTON, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON.

**PARCEL C (EXISTING)**

LOT 8, BLOCK 2, CALLOW'S ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN RECORDS OF KING COUNTY, WASHINGTON, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON.

**PARCEL A (PROPOSED)**

THAT PORTION OF LOTS 9, 10 AND 11, BLOCK 2, CALLOW'S ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 8 IN SAID BLOCK 2;  
 THENCE N 89°22'18" W ALONG THE NORTH MARGIN OF SAID LOTS, 36.71 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE S 00°00'01" E, 66.89 FEET;  
 THENCE N 89°23'58" W, 61.32 FEET;  
 THENCE NORTH, 43.28 FEET;  
 THENCE N 89°23'58" W, 18.00 FEET TO THE WEST MARGIN OF THE NORTH MARGIN OF SAID LOTS;  
 THENCE NORTH ALONG SAID MARGIN, 23.64 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE S 89°22'18" E ALONG SAID MARGIN, 79.32 FEET TO THE TRUE POINT OF BEGINNING;  
 CONTAINING IN ALL 4,527.6 SQUARE FEET.

**PARCEL C (PROPOSED)**

THAT PORTION OF LOTS 8 AND 9, BLOCK 2, CALLOW'S ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 8;  
 THENCE N 89°22'18" W ALONG THE NORTH MARGIN OF SAID LOTS, 36.71 FEET;  
 THENCE S 00°00'01" E, 66.89 FEET;  
 THENCE S 89°23'58" E, 10.71 FEET;  
 THENCE S 00°00'01" E, 33.00 FEET TO THE SOUTH MARGIN OF SAID LOTS;  
 THENCE S 89°23'58" E ALONG SAID MARGIN, 26.00 FEET TO THE EAST MARGIN OF SAID LOT 8;  
 THENCE IN CURVE, ALONG SAID MARGIN, 99.87 FEET TO THE POINT OF BEGINNING;  
 CONTAINING IN ALL 3,313.2 SQUARE FEET.

**PARCEL B (EXISTING)**

LOT 9, BLOCK 2, CALLOW'S ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON.

**PARCEL B (PROPOSED)**

THAT PORTION OF LOTS 9, 10 AND 11, BLOCK 2, CALLOW'S ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 8 IN SAID BLOCK 2;  
 THENCE N 89°22'18" W ALONG THE NORTH MARGIN OF SAID LOTS, 36.71 FEET;  
 THENCE S 00°00'01" E, 66.89 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE N 89°23'58" W, 61.32 FEET;  
 THENCE NORTH, 43.28 FEET;  
 THENCE N 89°23'58" W, 18.00 FEET TO THE WEST MARGIN OF SAID LOT 11;  
 THENCE SOUTH ALONG SAID MARGIN, 76.28 FEET TO THE SOUTH MARGIN OF SAID LOTS;  
 THENCE S 89°23'58" E ALONG SAID MARGIN, 90.03 FEET;  
 THENCE N 00°00'01" W, 33.00 FEET;  
 THENCE N 89°23'58" W, 10.71 FEET TO THE TRUE POINT OF BEGINNING;  
 CONTAINING IN ALL 3,750.1 SQUARE FEET.

**EMERALD LAND SURVEYING, INC.**

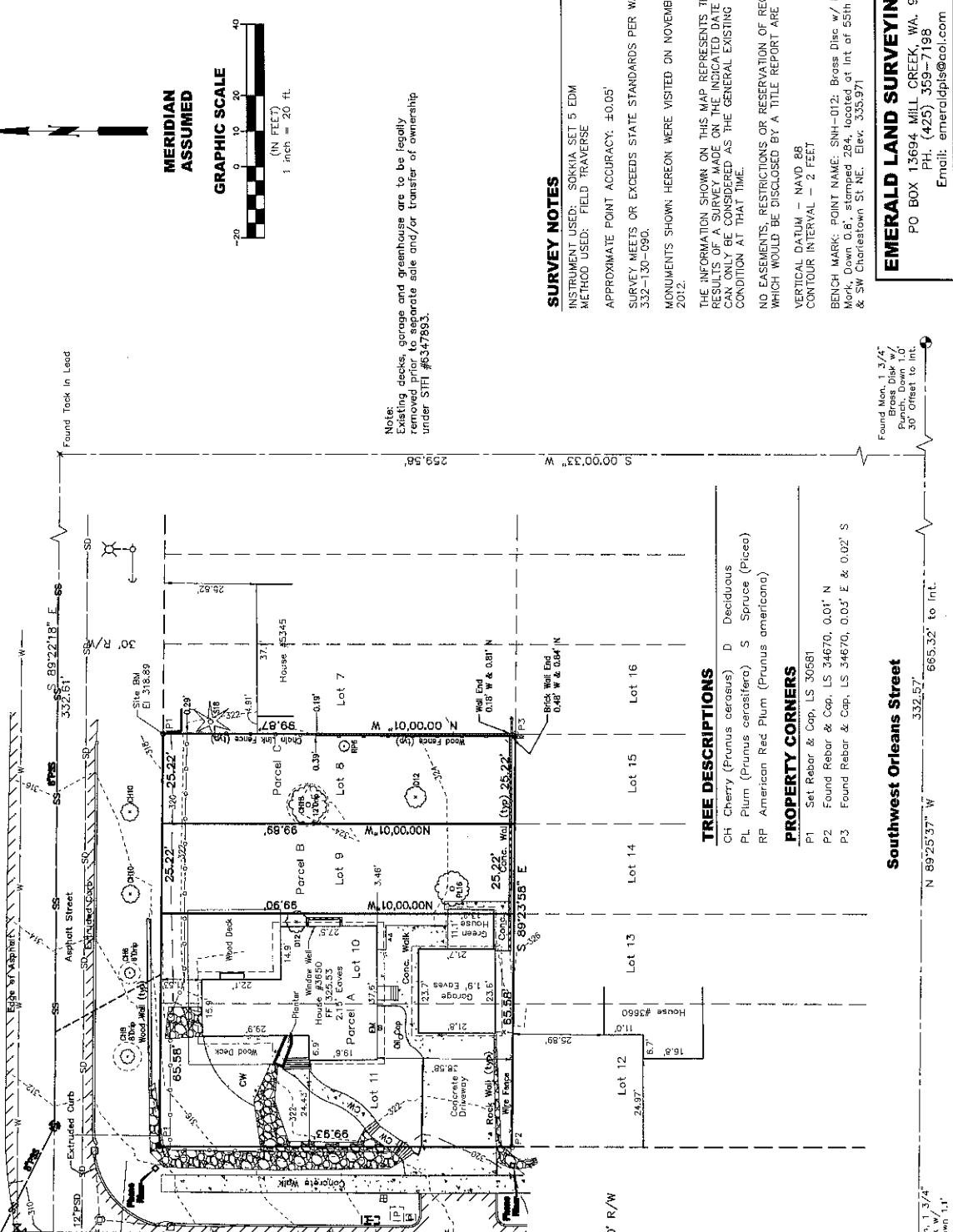
PO BOX 13694 MILL CREEK, WA, 98082  
 PH. (425) 359-7198  
 Email: emeraldpl@aol.com

**LOT BOUNDARY ADJUSTMENT NUMBER 3014542-AMENDED**

**SUPERCEDES AFN 20130214900003**

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 0.8"

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.



Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 0.8"

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
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Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

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Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

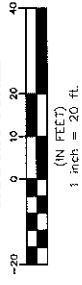
Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

Found Mon. 1 3/4"  
Brass Disk w/ 1"  
Punch, Down 1.0"  
30' Offset to Int.

**MERIDIAN ASSUMED**

**GRAPHIC SCALE**  
(IN FEET)  
1 inch = 20 ft.



**Note:**  
Existing decks, garage and greenhouse are to be legally removed prior to separate sale and/or transfer of ownership under STH #037893.

**SURVEY NOTES**

INSTRUMENT USED: SOKKIA SET 5 EDM  
METHOD USED: FIELD TRAVERSE  
APPROXIMATE POINT ACCURACY: ±0.05'  
SURVEY MEETS OR EXCEEDS STATE STANDARDS PER WAC 332-130-090.  
MONUMENTS SHOWN: HEREON WERE VISITED ON NOVEMBER 17, 2012.

THE INFORMATION SHOWN ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE INDICATED DATE AND CAN ONLY BE CONSIDERED AS THE GENERAL EXISTING CONDITION AT THAT TIME.

NO EASEMENTS, RESTRICTIONS OR RESERVATION OF RECORD WHICH WOULD BE DISCLOSED BY A TITLE REPORT ARE SHOWN.

VERTICAL DATUM - NAVD 88  
CONTOUR INTERVAL - 2 FEET

BENCH MARK: POINT NAME: SNH-012; Brass Disc w/ Punch Mark, Down 0.6', stamped at Int. of 55th Ave SW & SW Charlestown St NE. Elev. 335.971

**EMERALD LAND SURVEYING, INC.**

PO BOX 13694 MILL CREEK, WA. 98082  
PH. (425) 359-7198  
Email: emeraldpls@aol.com

SURVEY IN S.E. 1/4, N.E. 1/4,  
SEC. 15, T. 24N., R. 3E.

DWN. BY: DATE: JOB NO.  
BLE 7/25/13 12077

CHK. BY: SCALE: SHEET 2 OF 3  
BLE 1" = 20'

**RECORD OF SURVEY**

Ron Day  
JMS Homes, LLC  
Silverado Development, LLC  
3650 55th Avenue Southwest  
Seattle, WA 98116



**SURVEYOR'S CERTIFICATE**

This map represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of RON DAY/JMS HOMES/SILVERADO DEV. in WA, 2013

Certificate Number 30581

**RECORDING CERTIFICATE**

Filed for record this    day of    20   at    M in Book    of Surveys at Page    Records of    County, Washington at the request of BRENT EBLE

Auditor: Deputy Auditor:

**TREE DESCRIPTIONS**

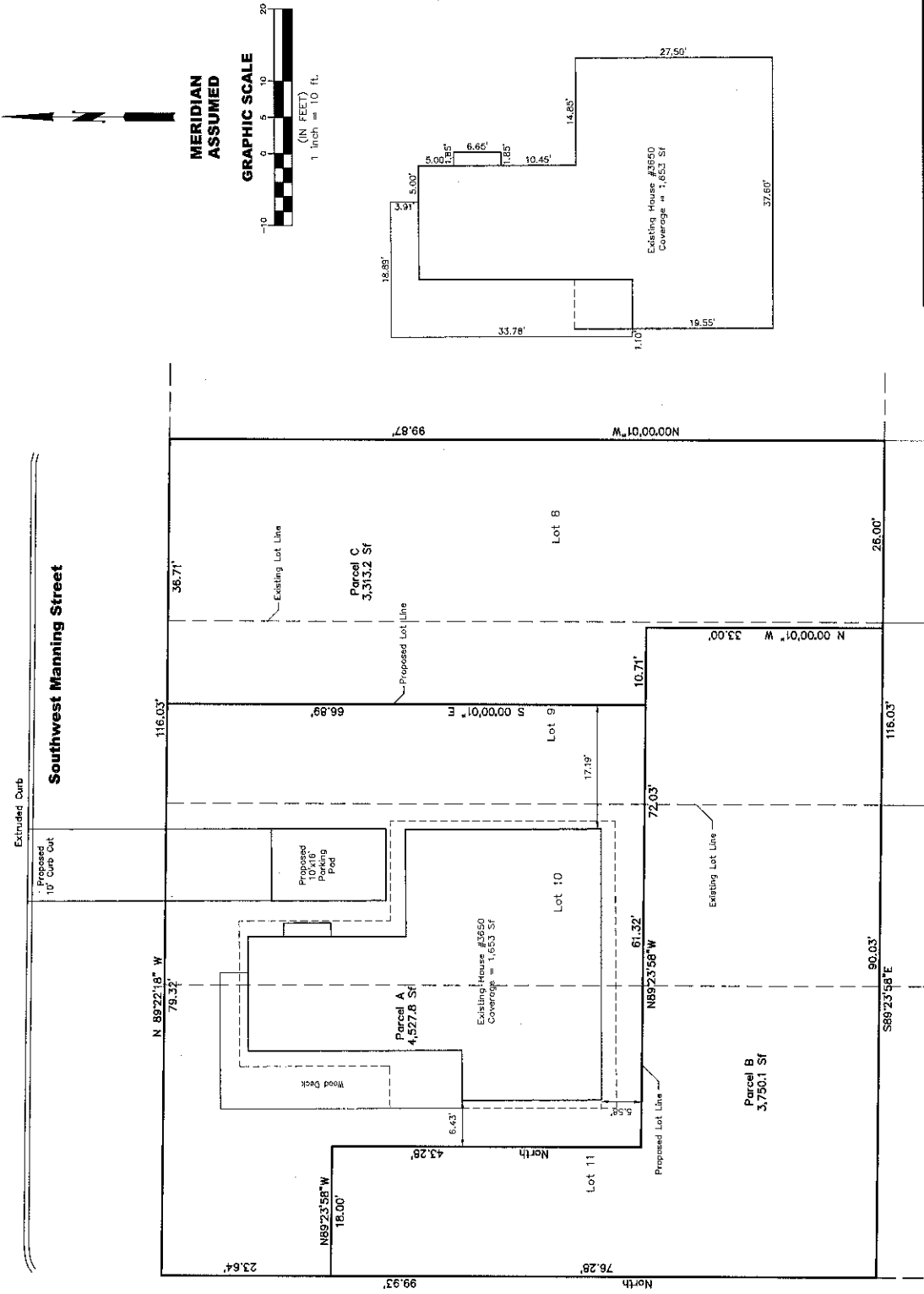
CH Cherry (Prunus cerasus) D Deciduous  
PL Plum (Prunus cerasifera) S Spruce (Picea)  
RP American Red Plum (Prunus americana)

**PROPERTY CORNERS**

P1 Set Rebar & Cap. LS. 30581  
P2 Found Rebar & Cap. LS 34670, 0.01' N  
P3 Found Rebar & Cap. LS 34670, 0.03' E & 0.02' S

**Southwest Orleans Street**

N 89°25'37" W 332.57' 685.32' to Int.



**EMERALD LAND SURVEYING, INC.**  
 PO BOX 13694 MILL CREEK, WA. 98082  
 PH. (425) 359-7198  
 Email: emeraldplis@aol.com

**RECORD OF SURVEY**  
 SURVEY IN S.E. 1/4, N.E. 1/4,  
 SEC. 15, T. 24N., R. 3E.

**DWN. BY:** BLE  
**DATE:** 7/25/13  
**JOB NO.:** 12077

**CHK. BY:** BLE  
**SCALE:** 1" = 10'  
**SHEET 3 OF 3**



**SURVEYOR'S CERTIFICATE**  
 This map represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of **RON DAY/JMS HOMES/SILVERADO DEV** in **JULY**, 2013

Certificate Number: 30581

**RECORDING CERTIFICATE**  
 Filed for record this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_ M. in Book \_\_\_\_\_ of Surveys \_\_\_\_\_ at Page \_\_\_\_\_ Records of \_\_\_\_\_ KING County, Washington at the request of **BRENT EBLE**.

Auditor \_\_\_\_\_ Deputy Auditor \_\_\_\_\_

## **EXHIBIT D**

Documents from King County Recorder's Office showing recorded revisions to prior lot boundary adjustments or short subdivisions.

Revision to Short Subdivision No. 3007886  
recorded under #20090511900005 superseding  
short subdivision recorded under #20080728900003.



**SHORT SUBDIVISION NO. 3007886**

**GRANTOR:** RECAP LLC  
2115 E. MARGER ST.  
SEATTLE, WA 98112  
(206) 282-7990  
btl@redeveloping.net

**GRANTEE:** CITY OF SEATTLE  
KING CO., WA

**ABBREVIATED LEGAL:** A PORT OF PORTS 4E-1A, BLOCK 64, 11 OF PORTS R 238  
ASSASSIN'S PALACE # 408330665

**PARCEL ADDRESS:** 1807 N. 36TH ST.

**REFERENCE NO. S FOR RELATED PROJECTS:** 615592

**DECLARATION:**

WE, THE UNDERSIGNED OWNER(S) IN FEE SIMPLE (AND CONTRACT SUBROGATION) OF THE ABOVE DESCRIBED PARCEL, DO HEREBY DECLARE THIS SHORT SUBDIVISION TO BE PLACED IN ACCORDANCE WITH THE CITY OF SEATTLE SHORT SUBDIVISION ACT, P.L.S. 2008 10 01, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FULL AND FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNER(S). I, THE UNDERSIGNED, HAVE SET OUR HANDS AND SEALS IN WITNESS WHEREOF AT SEATTLE, WASHINGTON, THIS 24th DAY OF JULY, 2008.

NAME: *Scott Williams*  
STATE OF WASHINGTON) SS

COUNTY OF KING) SS

ON THIS 24th DAY OF JULY 2008 BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DAVID COMMISSIONED AND SWORN, PERSONALLY APPEARED AARON WAHRAV, MANAGER OF RECAP LLC, TO ME KNOWN TO BE THE INDIVIDUAL DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR HIMSELF, AND ACKNOWLEDGED TO ME THAT HE WAS THE OWNER OF SAID PARCEL AND THAT HE HAS VOLUNTARILY TAKEN THE ABOVE MENTIONED PARCELS THEREBY MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL, HERETO ATTACHED, THE DAY AND YEAR IN THIS CERTIFICATE ABOVE WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON  
RESIDING AT SEATTLE, WA



APPROVED: CITY OF SEATTLE  
DEPARTMENT OF PLANNING AND DEVELOPMENT (DPD)

DIANE SUGIMURA, DIRECTOR  
BY: *Diane Sugimura* DIRECTOR  
2008

EXAMINED AND APPROVED THIS 24th DAY OF JULY 2008

NOTE: APPROVAL OF THIS SHORT SUBDIVISION BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT UNDER CHAPTER 23.24 OF THE SEATTLE MUNICIPAL CODE, AS AMENDED, IS NOT TO BE CONSTRUED AS SATISFACTION OF ANY OTHER APPLICABLE LEGISLATION OR REGULATIONS.

KING COUNTY DEPT. OF ASSESSMENTS

EXAMINED AND APPROVED THIS 28th DAY OF JULY 2008

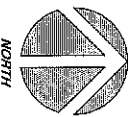
ASSESSOR: Scott Noble  
DEPUTY ASSESSOR: *David Combs*



2008

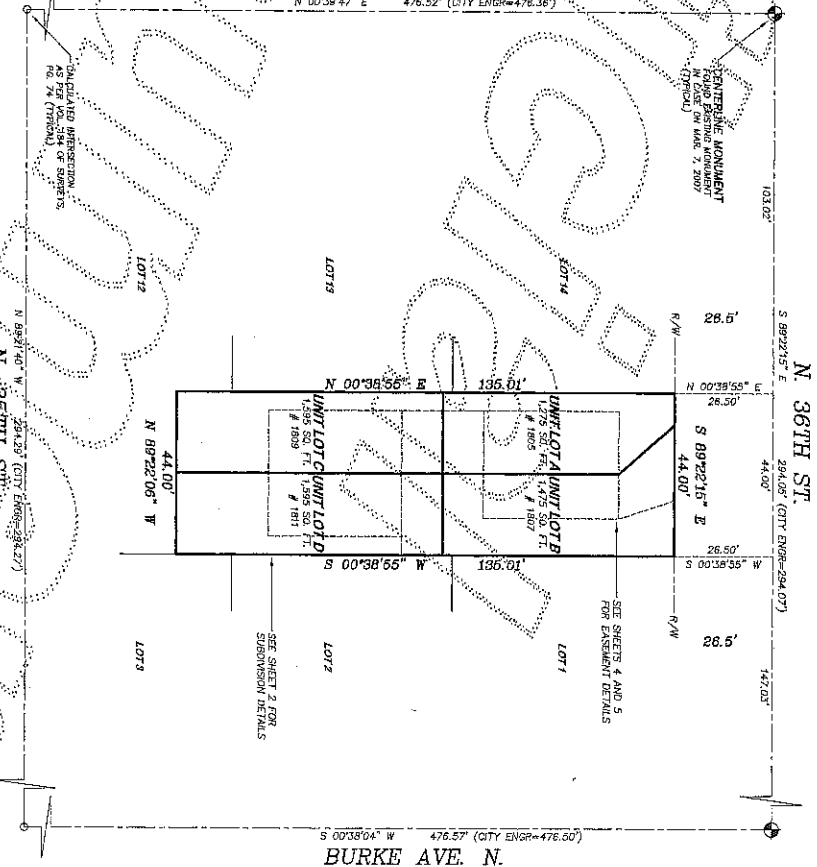
WRITERS:

MANAGER: *Scott Williams*  
SUPERV. OF RECORDS



SCALE 1"=20'  
0 10 20 40

WALLINGFORD AVE. N  
N 00°38'47" E 476.52' (CITY ENGR=476.36')



- NOTES:
1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 352-130-080.
  2. BASIS OF BEARINGS = S 89°22'16" E BETWEEN THE TWO FOUND MONUMENTS IN N. 36TH ST. AS SHOWN HEREON.
  3. ALL EXISTING STRUCTURES AS SHOWN ON SHEET 2 ARE TO BE LEGALLY REMOVED.
  4. THE UNIMPROVED LOTS SHOWN ON THIS SITE ARE NOT SEPARATE BUILDABLE LOTS. ADDITIONAL DEVELOPMENT ON UNIMPROVED LOTS ON THIS SUBDIVISION MAY BE LIMITED AS A RESULT OF THE APPLICATION OF DEVELOPMENT STANDARDS TO THE PARENT LOT PURSUANT TO APPLICABLE PROVISIONS OF THE SEATTLE LAND USE CODE, CHAPTER 23 OF THE SEATTLE MUNICIPAL CODE.
  5. AN EASEMENT IS GRANTED TO SEATTLE CITY LIGHT AS SHOWN ON PAGE 8 OF B.



DATE: 7/21/08

SURVEYOR'S CERTIFICATE  
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY REORDING ACT AT THE REQUEST OF RECAP LLC  
IN JULY, 2008

CHADWICK WINTERS, L.S. 10005

CHADWICK WINTERS  
LAND SURVEYING AND MAPPING

1802 N.W. 87TH ST., SEATTLE, WA 98117  
PHONE: 206.297.0956  
FAX: 206.297.0997  
EMAIL: CWM@LANDSURVEYINGWEST.NET

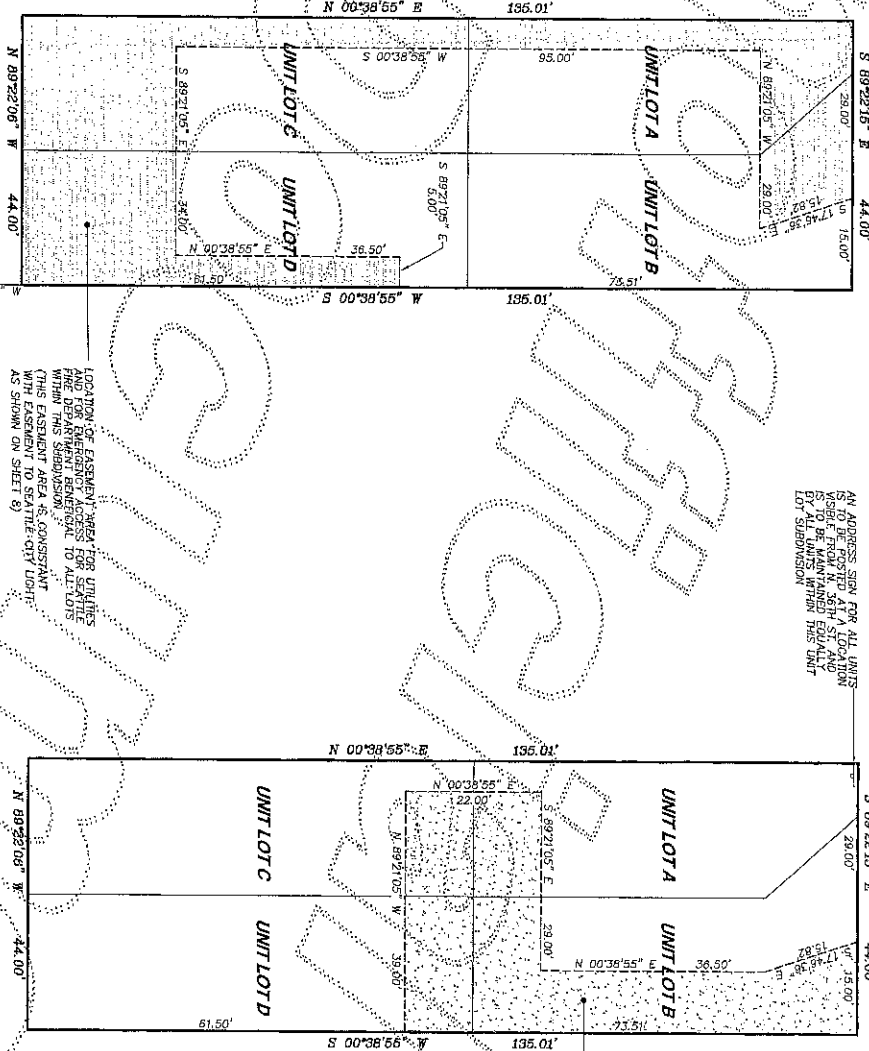
SURVEY IN:  
SE 1/4, SE 1/4, SEC. 18, T. 25 N., R. 4 E., W.M.  
KING COUNTY, WASHINGTON

DATE	SCALE	SHEET	TOTAL SHEETS
DATE: 7-21-08	SCALE: 1"=20'	SHEET: 1 OF 8	TOTAL SHEETS: 8 OF 8



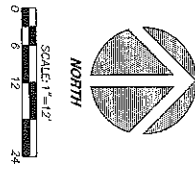
20080728900003  
 144.00  
 WEST OF SECTION 18,  
 T. 23 N., R. 4 E.,  
 KING COUNTY, WA

SHORT SUBDIVISION NO. 3007886



AN ADDRESS SIGN FOR ALL UNITS  
 IS TO BE POSTED AT A LOCATION  
 TO BE MAINTAINED EQUALLY  
 BY ALL UNITS WITHIN THIS UNIT  
 LOT SUBDIVISION

LOCATION OF EASEMENT AREA FOR  
 ACCESS FOR STATE FIRE DEPARTMENT  
 BENEFICIAL TO ALL LOTS WITHIN THIS  
 SUBDIVISION



**EASEMENT DETAILS**

LOCATION OF EASEMENT AREA FOR UTILITIES  
 FIRE DEPARTMENT BENEFICIAL TO ALL LOTS  
 WITHIN THIS SUBDIVISION  
 THIS EASEMENT AREA IS CONSTANT  
 WITH EASEMENT TO STATE-CITY LIGHT  
 AS SHOWN ON SHEET 9



**CHADWICK WINTERS**  
 LAND SURVEYING AND MAPPING  
 1422 NW 87TH ST, SEATTLE, WA 98147  
 PHONE: 206.207.0996 FAX: 206.207.0997  
 EMAIL: CWLANDSURV@GOWINSUR.COM

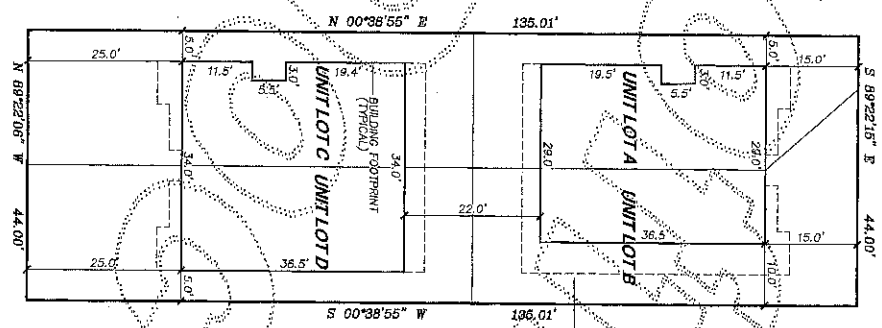
**SURVEY IN:**  
 SE 1/4, SE 1/4, SEC. 18, T. 23 N., R. 4 E., W. 1/2  
 KING COUNTY, WASHINGTON  
 PROJECT # 07-388  
 SHEET 3 OF 9

250136

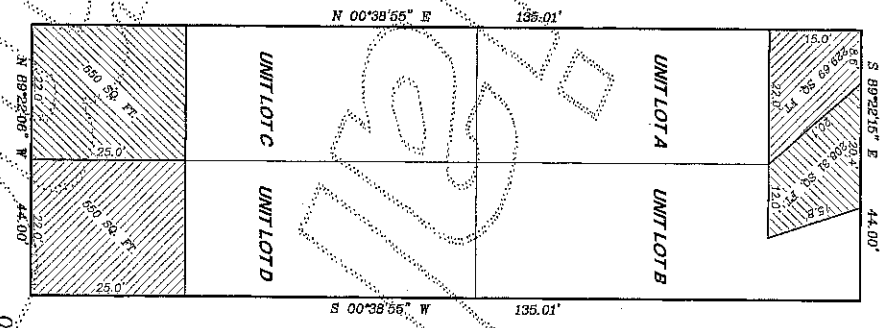
20080728900003

SHORT SUBDIVISION NO. 3007986

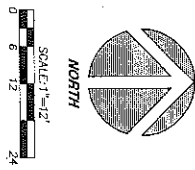
250/137



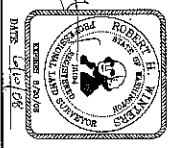
**BUILDING DIMENSION DETAIL**



**OPEN SPACE DETAIL**



**NOTE:**  
ALL BUILDING DIMENSIONS, FOOTPRINTS, AND BUILDING OFFSET DIMENSIONS SHOWN ON THESE PLANS ARE PROVIDED FOR INFORMATION ONLY. THE BUILDING DIMENSIONS, FOOTPRINTS, AND OFFSETS ARE AS CONSTRUCTED.



**CHADWICK WINTERS & ASSOCIATES, INC.**  
LAND SURVEYING AND MAPPING  
1422 N.W. 87TH ST., SEATTLE, WA 98147  
PHONE: 206.297.0996  
FAX: 206.297.0999  
EMAIL: CWLANDSURV@CWASURV.COM

<b>SURVEY IN:</b>	
SE 1/4, SE 1/4, SEC. 18, T. 25 N., R. 4 E., W. 11.	PROJECT # 07-388
KING COUNTY, WASHINGTON	SHEET # 05-B
FOR: MECHANICAL LLC	
DRAWN BY: ESW	DATE: 05-15-07
CHECK BY: RHW	SCALE: 1" = 12'

**OPEN SPACE NOTE:**  
THESE ARE THE MINIMUM OPEN SPACE AS SHOWN HEREON. ISSUES PER THE LANDSCAPE PLAN PREPARED BY THE ARCHITECT, OR SPECIALTY OF CREATIVE CONSTRUCTION.



20080728900003

SHORT SUBDIVISION NO. 3007886

ORIGINAL PROPERTY DESCRIPTION (3,940 SQ. FT.)

THE EAST 41 FEET 3/4 OF LOTS 13 AND 14, AND THE EAST 44 FEET OF THE NORTH 15 FEET OF LOT 12, ALL IN BLOCK 65, LAKE UNION ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 238, RECORDS OF KING COUNTY, WA.

UNIT LOT A (3,275 SQ. FT.)

THAT PORTION OF LOTS 13 AND 14, BLOCK 65, LAKE UNION ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 238, RECORDS OF KING COUNTY, WA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NW CORNER OF SAID LOT 14; THENCE S 89°22'15" E ALONG THE NORTH LINE OF SAID LOT FOR A DISTANCE OF 70.03 FT. TO THE POINT OF BEGINNING; THENCE CONTINUING S 89°22'15" E, 6.62 FT.; THENCE S 47°34'17" E, 20.10 FT.; THENCE S 00°38'55" W, 47.50 FT.; THENCE N 89°21'05" W, 22.00 FT.; THENCE N 00°38'55" E, 72.51 FT. TO THE POINT OF BEGINNING.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR WALKWAY, EGRESS AND UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELESCOPIC SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND FOR EMERGENCY ACCESS TO CITY OF SEATTLE FIRE PERSONNEL, AS SHOWN AND DESCRIBED AS "WALKWAY, EGRESS, UTILITY & EMERGENCY ACCESS EASEMENT" ON CITY OF SEATTLE SHORT SUBDIVISION NO. 3007886.

AND SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELESCOPIC SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND FOR EMERGENCY ACCESS TO CITY OF SEATTLE FIRE PERSONNEL, AS SHOWN AND DESCRIBED AS "UTILITY & EMERGENCY ACCESS EASEMENT" ON CITY OF SEATTLE SHORT SUBDIVISION NO. 3007886.

AND SUBJECT TO AND TOGETHER WITH ALL AGREEMENTS FOR COMMON WALL, UTILITIES, OPEN SPACE, ADDRESS SIGNAGE, AND MAINTENANCE AS SHOWN AND DESCRIBED UPON SHORT SUBDIVISION NO. 3007886.

UNIT LOT B (1,425 SQ. FT.)

THAT PORTION OF LOTS 13 AND 14, BLOCK 65, LAKE UNION ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 238, RECORDS OF KING COUNTY, WA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NW CORNER OF SAID LOT 14; THENCE S 89°22'15" E ALONG THE NORTH LINE OF SAID LOT FOR A DISTANCE OF 78.69 FT. TO THE POINT OF BEGINNING; THENCE CONTINUING S 89°22'15" E, 35.38 FT.; THENCE S 00°38'55" W, 62.61 FT.; THENCE N 89°21'05" W, 22.00 FT.; THENCE N 00°38'55" E, 47.50 FT.; THENCE N 47°34'17" W, 20.10 FT. TO THE POINT OF BEGINNING.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR WALKWAY, EGRESS AND UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELESCOPIC SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND FOR EMERGENCY ACCESS TO CITY OF SEATTLE FIRE PERSONNEL, AS SHOWN AND DESCRIBED AS "WALKWAY, EGRESS, UTILITY & EMERGENCY ACCESS EASEMENT" ON CITY OF SEATTLE SHORT SUBDIVISION NO. 3007886.

AND SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELESCOPIC SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND FOR EMERGENCY ACCESS TO CITY OF SEATTLE FIRE PERSONNEL, AS SHOWN AND DESCRIBED AS "UTILITY & EMERGENCY ACCESS EASEMENT" ON CITY OF SEATTLE SHORT SUBDIVISION NO. 3007886.

AND SUBJECT TO AND TOGETHER WITH ALL AGREEMENTS FOR COMMON WALL, UTILITIES, OPEN SPACE, ADDRESS SIGNAGE, AND MAINTENANCE AS SHOWN AND DESCRIBED UPON SHORT SUBDIVISION NO. 3007886.

UNIT LOT C (1,585 SQ. FT.)

THAT PORTION OF LOTS 12 AND 13, BLOCK 65, LAKE UNION ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 238, RECORDS OF KING COUNTY, WA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SE CORNER OF SAID LOT 12; THENCE N 00°38'55" E ALONG THE EAST LINE OF SAID LOT FOR A DISTANCE OF 45.01 FT.; THENCE N 89°22'06" W, 22.00 FT. TO THE POINT OF BEGINNING; THENCE CONTINUING N 89°22'06" W, 22.00 FT.; THENCE N 00°38'55" W, 72.51 FT.; THENCE S 89°21'05" E, 22.00 FT.; THENCE S 00°38'55" W, 72.51 FT. TO THE POINT OF BEGINNING.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR WALKWAY, EGRESS AND UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELESCOPIC SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND FOR EMERGENCY ACCESS TO CITY OF SEATTLE FIRE PERSONNEL, AS SHOWN AND DESCRIBED AS "WALKWAY, EGRESS, UTILITY & EMERGENCY ACCESS EASEMENT" ON CITY OF SEATTLE SHORT SUBDIVISION NO. 3007886.

AND SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELESCOPIC SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND FOR EMERGENCY ACCESS TO CITY OF SEATTLE FIRE PERSONNEL, AS SHOWN AND DESCRIBED AS "UTILITY & EMERGENCY ACCESS EASEMENT" ON CITY OF SEATTLE SHORT SUBDIVISION NO. 3007886.

AND SUBJECT TO AND TOGETHER WITH ALL AGREEMENTS FOR COMMON WALL, UTILITIES, OPEN SPACE, ADDRESS SIGNAGE, AND MAINTENANCE AS SHOWN AND DESCRIBED UPON SHORT SUBDIVISION NO. 3007886.

UNIT LOT D (1,585 SQ. FT.)

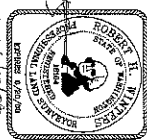
THAT PORTION OF LOTS 12 AND 13, BLOCK 65, LAKE UNION ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 238, RECORDS OF KING COUNTY, WA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SE CORNER OF SAID LOT 12; THENCE N 00°38'55" E ALONG THE EAST LINE OF SAID LOT FOR A DISTANCE OF 45.01 FT. TO THE POINT OF BEGINNING; THENCE N 89°22'06" W, 22.00 FT.; THENCE N 00°38'55" E, 72.51 FT.; THENCE S 89°21'05" E, 22.00 FT.; THENCE S 00°38'55" W, 72.50 FT. TO THE POINT OF BEGINNING.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR WALKWAY, EGRESS AND UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELESCOPIC SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND FOR EMERGENCY ACCESS TO CITY OF SEATTLE FIRE PERSONNEL, AS SHOWN AND DESCRIBED AS "WALKWAY, EGRESS, UTILITY & EMERGENCY ACCESS EASEMENT" ON CITY OF SEATTLE SHORT SUBDIVISION NO. 3007886.

AND SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELESCOPIC SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND FOR EMERGENCY ACCESS TO CITY OF SEATTLE FIRE PERSONNEL, AS SHOWN AND DESCRIBED AS "UTILITY & EMERGENCY ACCESS EASEMENT" ON CITY OF SEATTLE SHORT SUBDIVISION NO. 3007886.

AND SUBJECT TO AND TOGETHER WITH ALL AGREEMENTS FOR COMMON WALL, UTILITIES, OPEN SPACE, ADDRESS SIGNAGE, AND MAINTENANCE AS SHOWN AND DESCRIBED UPON SHORT SUBDIVISION NO. 3007886.



DATE: 4/10/02

CHADWICK WINTERS LAND SURVEYING AND MAPPING 1422 NW 58TH ST, SEATTLE WA 98177 PHONE: 206.297.1999 FAX: 206.297.0999 EMAIL: C.WINTERS@WINTERSNET

EXAM: C.WINTERS@WINTERSNET

SURVEY IN:	
SE 1/4, SE 1/4, SEC. 18, T. 25 N., R. 4 E., W. M. KING COUNTY WASHINGTON	
DATE:	04-10-02
PROJECT:	18-07-3888
SCALE:	N/A
CHECK BY:	HW
DATE:	04-10-02

2501138



2008072890003  
 144.00  
 2008072890003  
 144.00

**SHORT SUBDIVISION NO. 3007886**

**COMMON WALL AGREEMENT**

WITNESSETH THAT FOR AND IN CONSIDERATION OF THE MUTUAL COVENANTS HEREIN EXPRESSED, IT IS HEREBY AGREED BETWEEN THE PARTIES THAT:

1ST - THE WALLS THIN ARE ON THE LOT LINES SEPARATING THE ADJACENT HOMES ARE HEREBY DECLARED TO BE A "COMMON WALL". THE TERM "COMMON WALL" INCLUDES EVERYTHING LOCATED WITHIN SUCH WALL, SUCH AS FRAMING, INSULATION, SOUPROOFING, PIPES, WIRES, JOISTS, JOINTION BOVES AND OTHER MATERIAL OR EQUIPMENT RELATED TO THE UTILITIES, AND BEHIND THE WALL, SUCH AS THE STRUCTURE OF THE ROOF, THE FOUNDATION AND THE WALL, INCLUDING THE EXTERIOR SIDING, RAFTERS AND ROOF, AND ON THE SPERS OF THE WALL, INCLUDING THE EXTERIOR SIDING.

2ND - IF THE "COMMON WALL" IS DAMAGED OR DESTROYED FROM ANY CAUSE WHICH IS NOT THE RESULT OF FAULT OR NEGLIGENCE OF EITHER OF THE OWNERS, REPAIR OR RECONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE OWNERS. EACH OWNER OR OTHER PERSONS OCCUPYING OR USING THEIR RESPECTIVE HOUSES, THEN, EACH OWNER SHALL BE RESPONSIBLE FOR THE COST TO REPAIR THEIR PORTION OF THE WALL, EXCEPT FOR THOSE UTILITIES THAT ARE IN THE WALL AND COMMON TO BOTH HOUSES. THE REPAIR SHALL BE SHARED EQUALLY.

3RD - IF THE "COMMON WALL" IS DAMAGED OR DESTROYED FROM ANY CAUSE WHICH IS THE RESULT OF FAULT OR NEGLIGENCE OF EITHER OF THE OWNERS OR OTHER PERSONS USING THE ADJACENT HOUSES, THEN THAT RESPONSIBLE OWNER SHALL BEAR THE SOLE COST OF REPAIR OR RECONSTRUCTION.

4TH - WHEN NECESSARY TO REPAIR OR RECONSTRUCT THE "COMMON WALL", THE PARTIES TO THIS AGREEMENT SHALL HAVE THE RIGHT OF ENTRY FOR THAT PURPOSE.

5TH - THIS AGREEMENT SHALL BE A COVENANT RUNNING WITH THE LAND AND SHALL BE BINDING UPON ALL PARTIES AND THEIR HEIRS AND ASSIGNS FOREVER.

**ELECTRICAL, TELEPHONE & CABLE T.V. EASEMENT AGREEMENT**

WITNESSETH THAT FOR AN IN CONSIDERATION OF THE MUTUAL COVENANTS HEREIN EXPRESSED, IT IS HEREBY AGREED BETWEEN THE PARTIES THAT:

1ST - AN EASEMENT FOR ELECTRICAL, TELEPHONE AND CABLE TELEVISION CONNECTION AND METER BOXES AS COVENANTS SHALL BE GRANTED TO THE ADJACENT OWNERS THROUGH THE BUILDINGS FROM THIS COMMON CONNECTION POINT TO EACH PARCEL.

2ND - THERE SHALL BE A COMMON CONNECTION AND THE LINES SHALL BE AS CONSTRUCTED FOR THE USE AND BENEFIT OF ALL PROPERTIES.

3RD - THE COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF THAT PORTION OF THE DISTRIBUTION SYSTEM USED IN COMMON SHALL BE BORNE IN EQUAL SHARES, EXCEPT WHEN SUCH REPAIRS OR RECONSTRUCTION ARE DUE TO DAMAGES FOR WHICH A SINGLE OWNER IS RESPONSIBLE, THEN THAT OWNER SHALL BE RESPONSIBLE FOR THE COST.

4TH - THIS AGREEMENT SHALL BE A COVENANT RUNNING WITH THE LAND AND SHALL BE BINDING UPON ALL PARTIES AND THEIR HEIRS AND ASSIGNS FOREVER.

**JOINT USE / MAINTENANCE AGREEMENT**

WITNESSETH THAT FOR AND IN CONSIDERATION OF THE MUTUAL COVENANTS HEREIN EXPRESSED, IT IS HEREBY AGREED BETWEEN THE PARTIES HAVING OWNERSHIP IN THIS CITY OF SEATTLE SHORT SUBDIVISION THAT:

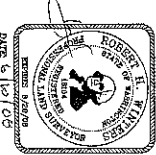
1ST - EACH OWNER IS RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF THEIR OWN PORTION OF THE COMMON AREAS, INCLUDING THE DRIVEWAY, WALKWAY AND PROPERTY IN GOOD STATE OF REPAIR AND WILL KEEP THE DRIVEWAY (PERMANENT EASEMENT FOR INGRESS, EGRESS, AND UTILITIES) CLEAR AT ALL TIMES. EASEMENTS HAVE BEEN GRANTED AND ARE PART OF THIS SHORT SUBDIVISION FOR WALKING ACCESS, STREET ENTRY AND PARKING IN DESIGNATED AREAS. ALL OWNERS HAVING LEGAL ACCESS FROM SAID EASEMENTS ARE TO STAY CLEAR OF THE AREAS OF THE COMMON AREAS AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE AREAS. THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS, BUT IT IS EXPECTED THAT ALL USERS OF THE ACCESS EASEMENTS WILL DO SO WITH CARE AND RESPECT FOR THE APPEARANCES OF THE WALKWAYS AND DRIVEWAYS.

2ND - EACH ROOF SHALL BE CARED FOR AND MAINTAINED BY THE OWNER(S) OF THE PROPERTY UPON WHICH THE ROOF IS LOCATED. IN THE EVENT THAT PROPERTY OWNER(S) INTEND TO REPAIR OR REPLACE THEIR ROOF, IT IS HEREBY AGREED THAT THE MATERIALS WILL BE SIMILAR IN TYPE, QUALITY AND COLOR OF THE ORIGINAL ROOF, UNLESS MUTUALLY AGREED UPON. THE COST OF SUCH REPAIR IS THE SOLE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER(S). HOWEVER, IN THE EVENT OF A TOTAL WALL, SIDING AND/OR EXTERIOR TRIM REPLACEMENT FOR A BUILDING WITHIN THIS SHORT SUBDIVISION, THE COSTS WILL BE SHARED EQUALLY BETWEEN THE PROPERTY OWNER(S) IN PROPORTION WITH EACH OWNER(S) AREA OF ROOF-ON THAT BUILDING. SUCH A ROOF REPLACEMENT WILL BE REQUIRED EVERY 25 YEARS (OR-AS WARRANTED BY THE ROOFING MATERIAL MANUFACTURER) UNLESS DELAYED BY A MUTUAL AGREEMENT OF THE OWNER(S) OF THAT BUILDING.

3RD - SHARED WALL, SIDING AND EXTERIOR TRIM SHALL BE CARED FOR AND MAINTAINED BY THE OWNER(S) OF THE PROPERTY UPON WHICH THE SHARED WALLS, SIDING AND EXTERIOR TRIM IS LOCATED. IN THE EVENT A PROPERTY OWNER INTENDS TO REPAIR OR REPLACE THEIR SHARED WALLS, SIDING AND EXTERIOR TRIM, IT IS HEREBY AGREED THAT THE MATERIALS WILL BE SIMILAR IN TYPE, QUALITY AND COLOR OF THE ORIGINAL WALLS, SIDING AND EXTERIOR TRIM, UNLESS MUTUALLY AGREED UPON. THE COST OF SUCH REPAIR OR REPLACEMENT IS THE SOLE RESPONSIBILITY OF THE OWNER(S) MAKING THE WALLS, SIDING AND EXTERIOR TRIM REPAIR OR REPLACEMENT. HOWEVER, IN THE EVENT OF A TOTAL WALL, SIDING AND/OR EXTERIOR TRIM REPLACEMENT FOR A BUILDING WITHIN THIS SHORT SUBDIVISION, THE COSTS WILL BE SHARED EQUALLY BETWEEN THE PROPERTY OWNER(S) IN PROPORTION WITH EACH OWNER(S) AREA OF WALLS AND EXTERIOR TRIM ON THAT BUILDING.

4TH - COMMON SITE SEWERS AND COMMON STORM DRAINAGE SYSTEMS SERVING THE SAID LOTS WITHIN THIS SUBDIVISION ARE TO BE MAINTAINED EQUALLY BY THE OWNERS OF SAID LOTS. 5TH - THIS AGREEMENT SHALL BE A COVENANT RUNNING WITH THE LAND, AND SHALL BE BINDING UPON ALL AFOREMENTIONED PARTY(S) AND THEIR HEIRS, AND ASSIGNS FOREVER.

256/140



**CHADWICK WINTERS**  
 LAND SURVEYING AND MAPPING  
 1422 NW 85TH ST., SEATTLE, WA 98147  
 PHONE 206.979.0996  
 FAX 206.979.0996  
 EMAIL: CHADWICK@CW-SURVEYING.MT

SURVEY IN:		SE 1/4, SE 1/4, SEC. 18, T. 23 N., R. 4 E., W.M.	
KING COUNTY, WASHINGTON		ROBERT E. WINTERS	
DATE BY: HW	SCALE: N/A	PROJECT: 07-308	SHEET: 5 OF 5

20080728900003  
 144.00  
 100% OF THE COUNTY, OR  
 100% OF THE COUNTY, OR  
 100% OF THE COUNTY, OR

SHORT SUBDIVISION NO. 3007886

EXHIBIT "A" TO SHORT SUBDIVISION NO. 3007886  
 P.M.#250418-4-034  
 KCA#R0330-6665

**EASEMENT (Overhead and Underground)**

THIS EASEMENT GRANTS to the City of Seattle (hereafter referred to as Grantee), its successors and assigns, the right, privilege and authority to install, construct, erect, alter, improve, repair, enlarge, operate and maintain electric overhead and underground distribution facilities at depths not exceeding 15 feet, which consists of poles with cross-arms, guy wires and other accessories, transformers, doors, vaults, manholes, cabinets, containers, conduits, insulators or necessary or convenient appurtenances to make said underground and overhead installations an integrated electric system. All said electric system is to be installed, placed, owned, operated and under the following described lands situated in the County of King, State of Washington, to wit:

The east 44 feet of Lot 13 and 14, and the east 44 feet of the north 15 feet of Lot 12, Block 66, Lake Union Addition to the City of Seattle, as recorded in Volume 1 of Plans, page 238, records of King County, Washington.

Being an easement over the entire area of **Tract 126 A through D, City of Seattle, Short Subdivision No. 3007886, EXCEPT** any portion of the proposed buildings shown on said unit be subdivisions.

**LEGAL DESCRIPTION**

AS SHOWN ON SAID UNIT

Together with the right at all times to the Grantee, its successors and assigns, of ingress to and egress from said lands across adjacent lands of said short subdivision for the purpose of installing, constructing, reconstructing, repairing, renewing, altering, changing, extending, enlarging and operating said electric system, and the right at any time to remove all or any part of said electric system from said lands.

Also the right to the Grantee, its successors and assigns, at all times to cut and trim bushes, trees or other plants standing or growing upon said easement area and adjacent lands which, in the opinion of the Grantee, interfere with the maintenance or operation of the system, or constitute a nuisance or danger to said electric system.

It is further covenanted and agreed that no structure or fire hazard will be erected or permitted within this easement except as herein provided, and no structure shall be erected or permitted within this easement unless the same shall have first been approved for written approval from the Grantee, its successors and assigns, that the building will be done or permitted within the easement area within 150 feet of any part of the easement or their utility or search any portion thereof, and then no digging or discharge of any explosives will be permitted within fifty (50) feet of said lines and appurtenances.

The City of Seattle is to be responsible, as provided by law, for any damage through its negligence, public contribution, negligence and operation of said electric system across, over, upon and other said easement area and adjacent lands.

The rights, title, privileges and authority hereby granted shall continue and be in force until such time as the Grantee, its successors, assigns shall permanently terminate said easement and appurtenances from said lands, or shall otherwise permanently abandon said electric system, at which time all such rights, title, privileges and authority hereby granted shall terminate.



DATE: 6/12/05

**CHADWICK WINTERS**  
 LAND SURVEYING AND MAPPING

1422 N.W. 85TH ST., SEATTLE WA 98117  
 PHONE: 206.297.0996  
 FAX: 206.297.0997  
 EMAIL: CWM@LANDSURVEYINGANDMAPPING.NET

**SURVEY IN:**  
 SE 1/4, SE 1/4, SEC. 18, T. 25 N., R. 4 E., W. 1 M.  
 KING COUNTY, WASHINGTON

OWNER: BIR, EM	DATE: 05-15-07	PROJECT: B-07-2008
OWNER: BIR, EM	SCALE: N/A	SHEET: 8 OF 8

2507141



W.A.

SHORT SUBDIVISION NO. 3007886

GRANTOR: RESCRAFT LLC  
 215 E. WERCER ST.  
 SEATTLE WA 98112  
 (206) 282-7930  
 info@rescraft.com

GRANTEES: CITY OF SEATTLE  
 KING CO, WA

APPROXIMATE LEGAL: APPROX. SECTIONS 14-14, BLOCK 104, V1 OF PLATS P. 224

ASSESSOR'S PARCEL #: 483030303

PARCEL ADDRESS: 1807 E. 36TH ST.

REFERENCE NO.'S FOR RELATED PRODUCTS: 0132302

DECLARATION: HE THE UNDERSIGNED, OWNER(S) IN FEE SIMPLE (AND CONTRACT PURCHASER(S)) OF THE UNDIVIDED INTEREST IN THE ABOVE DESCRIBED PARCEL, DO HEREBY DECLARE AND AGREE THAT THIS SHORT SUBDIVISION IS MADE WITH THE GRANTOR'S REPRESENTATION OF SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNER(S) IN WITNESS WHEREOF, I HAVE SET OUR HANDS AND SEALS.

NAME: [Signature]  
 STATE OF WASHINGTON

ON THIS DAY OF [Month] 2009 BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DO HEREBY CERTIFY AND SIGN TO THE FOREGOING INSTRUMENT FOR THE PURPOSES OF THE FOREGOING INSTRUMENT FOR HANDED, AND ACKNOWLEDGED TO ME THAT HE SIGNED AND SEALED THE SAME, AS HIS VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN MENTIONED.

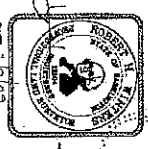
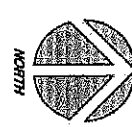
WITNESS MY HAND AND OFFICIAL SEAL HEREON AT THE DAY AND YEAR FIRST WRITTEN ABOVE.

APPROVAL: CITY OF SEATTLE  
 DEPARTMENT OF PLANNING AND DEVELOPMENT (DPO)  
 DIANE SCHUBERT, DIRECTOR  
 EXAMINED AND APPROVED THIS 14th DAY OF May 2009  
 BY: [Signature] DIRECTOR

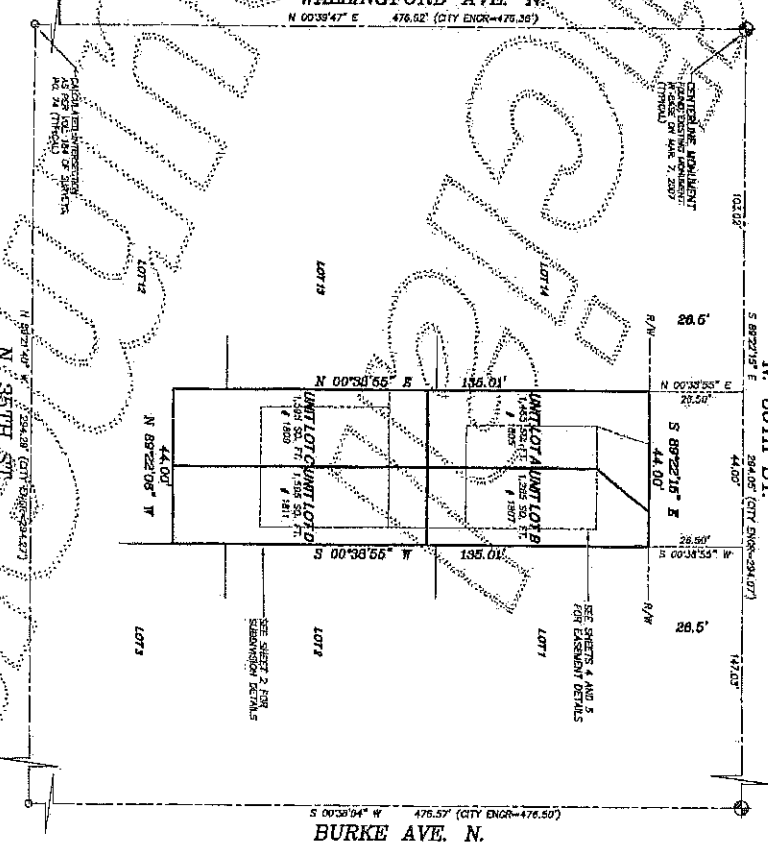
NOTE: APPROVAL OF THIS SHORT SUBDIVISION BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT IS UNDER CHAPTER 22A OF THE SEATTLE MUNICIPAL CODE AND IS SUBJECT TO THE SEATTLE DEPARTMENT OF PLANNING AND DEVELOPMENT'S REVIEW OF ANY OTHER APPLICABLE LEGISLATION OR REGULATIONS.

KING COUNTY DEPT. OF ASSESSMENTS  
 EXAMINED AND APPROVED THIS 14th DAY OF May 2009  
 ASSESSOR: Scott Noble, David K. Koenigs  
 [Signature]

MANAGER: [Signature]  
 DEPT. OF RECORDS



WALLINGFORD AVE. N  
 N 0038'47" E 476.02' (CITY ENCR-476.02')



- NOTES:
1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-150-090.
  2. BASIS OF BEARINGS = S 89°22'15" E BETWEEN THE TWO PLYWOOD MONUMENTS IN N. 36TH ST. AS SHOWN HEREON.
  3. ALL EXISTING STRUCTURES AS SHOWN ON SHEET 2 ARE TO BE LEGALLY REMOVED.
  4. THE UNIT LOTS SHOWN ON THIS SITE ARE NOT SEPARATE BUILDABLE LOTS. ADDITIONAL DEEDS PERTAINING TO THE UNIT LOTS ARE ON FILE WITH THE KING COUNTY RECORDS DEPARTMENT IN ACCORDANCE WITH THE SEATTLE MUNICIPAL CODE CHAPTER 22A OF THE SEATTLE MUNICIPAL CODE.
  5. THIS SURVEY SUPERSEDES THE PREVIOUS SHORT SUBDIVISION NO. 3007886, RECORDED UNDER VOLUME 250 OF SURVEYS PAGE 134-141, RECORDS OF KING COUNTY, WA. (NINE CO. REC. NO. 20080728900003)

262127  
 SUPERCEDES 20080728 900003

SURVEYOR'S CERTIFICATE  
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF RESCRAFT LLC  
 DATE: 5/14/09  
 R.H. WINTERS, L.S. 18104

CHADWICK WINTERS & ASSOCIATES  
 LAND SURVEYING AND MAPPING  
 1425 N.W. 36TH ST., SEATTLE, WA 98107  
 PHONE: 206.274.0900  
 FAX: 206.274.0901  
 EMAIL: CHADWICK@WINTERSMAPPING.COM

SURVEY IN: SE 1/4, SE 1/4, SEC. 18, T. 25 N., R. 4 E., W. 1 M. KING COUNTY, WASHINGTON

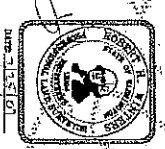
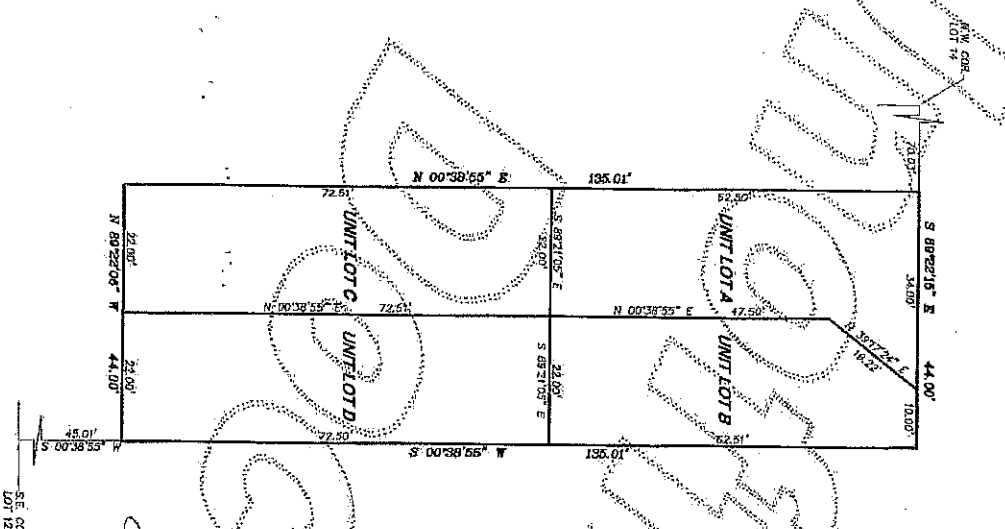
DATE: 5/14/09	PROJECT: 07-3008
SCALE: 1" = 20'	SHEET: 1 OF 8



20090511900005

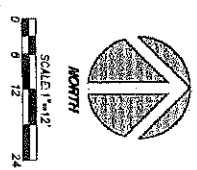
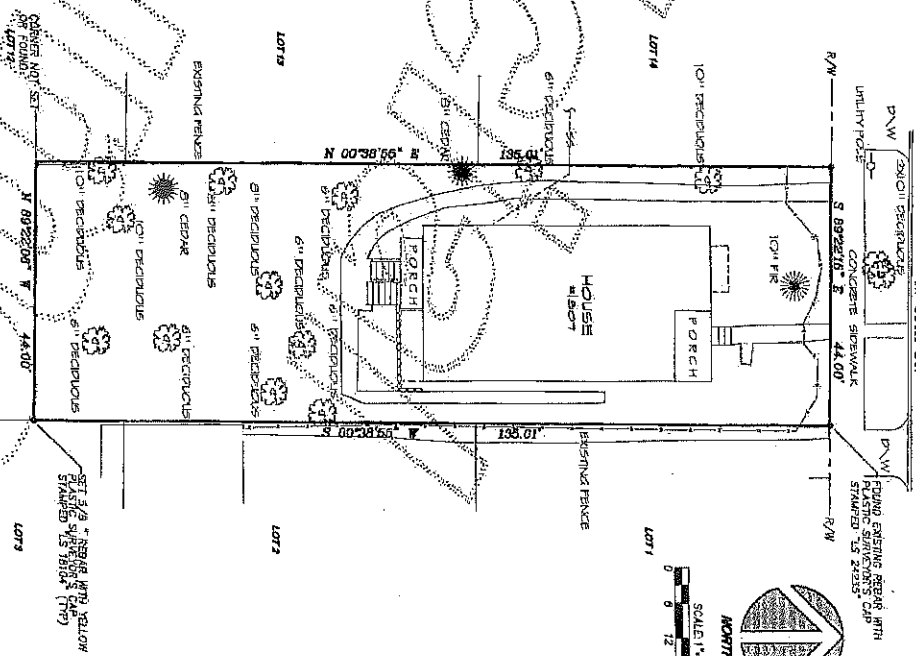
SHORT SUBDIVISION NO. 3007886

SHORT SUBDIVISION DETAIL



SE COR. LOT 12

EXISTING SITE CONDITIONS DETAIL



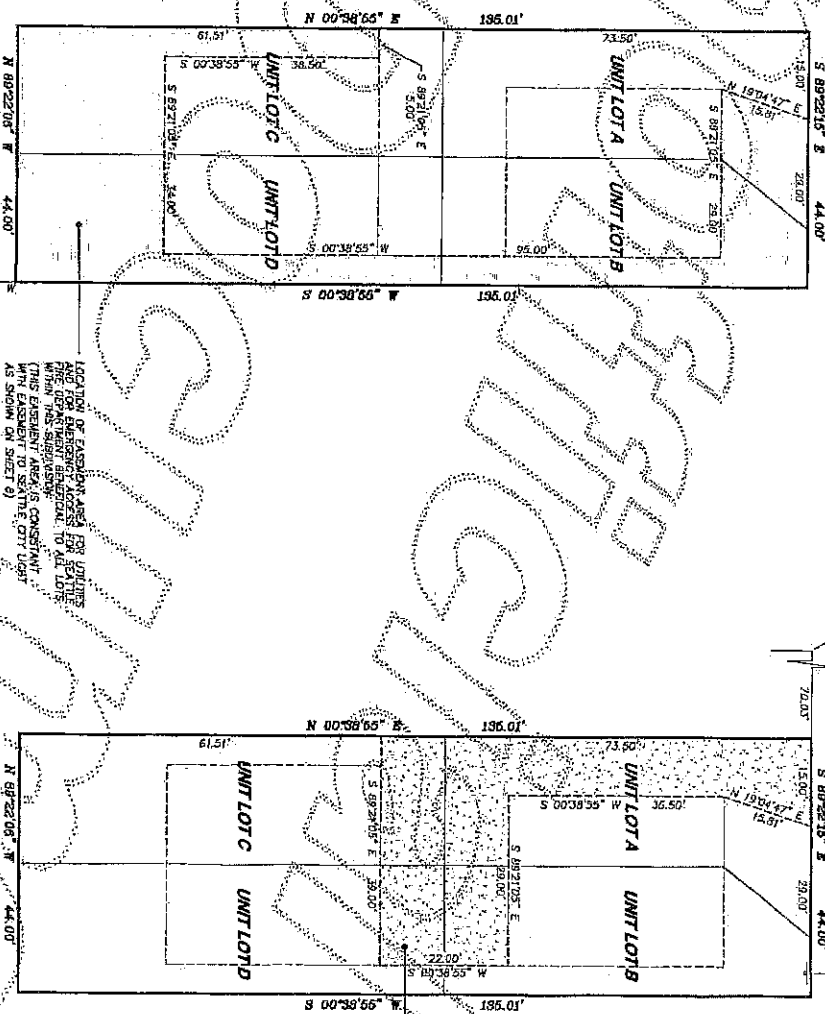
**CHADWICK WINTERS**  
 LAND SURVEYING AND MAPPING  
 1422 N.W. 85TH ST., SEATTLE, WA 98117  
 PHONE: 206.297.0986  
 FAX: 206.297.0987  
 EMAIL: CHADWICK@CHADWICKWINTERS.NET

**SURVEY IN:**  
 SE 1/4, SE 1/4, SEC. 18, T. 25 N., R. 4 E., WM.  
 KING COUNTY, WASHINGTON

DATE: 07-11-07	SCALE: 1" = 12'	PROJECT: S.D. 3007
DRAWN BY: GW	CHECKED BY: GW	SHEET: 2 OF 2

20090511900005

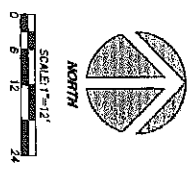
SHORT SUBDIVISION NO. 3007886



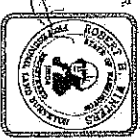
**EASEMENT DETAILS:**

LOCATION OF EASEMENT AREA FOR UTILITIES AND FOR EGRESS TO ADJACENT LOT 12 WITHIN THE SUBDIVISION. THIS EASEMENT AREA IS CONSISTANT WITH EASEMENT TO SEATTLE CITY LIGHT AS SHOWN ON SHEET 5)

AN ADDRESS SIGN FOR ALL UNITS IS TO BE PLACED AT A LOCATION LISTED TO BE MAINTAINED EQUALLY BY SUBDIVISION



2621129

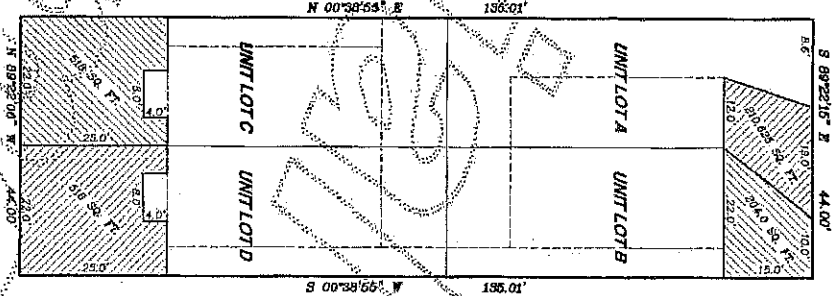
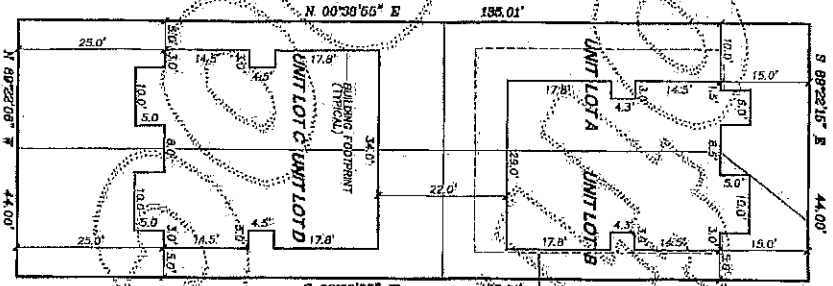


**CHADWICK WINTERS & ASSOCIATES, INC.**  
 LAND SURVEYING AND MAPPING  
 1402 N.W. 98TH ST., SEATTLE, WA 98147  
 PHONE: 206.297.0994  
 FAX: 206.297.0997  
 EMAIL: CWA@CHADWICKWINTERS.NET

**SURVEY IN:** SE 1/4, SE 1/4, SEC. 18, T. 25N., R. 4 E., W.M. KING COUNTY WASHINGTON  
 DATE: 05-15-07  
 SCALE: 1" = 12'  
 SHEET: 3 OF 8



SHORT SUBDIVISION NO. 3007886



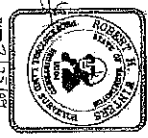
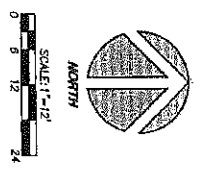
**NOTE:**  
 ALL BUILDING DIMENSIONS, COMPONENTS, AND BUILDING  
 OFFSET DISTANCES SHOWN HEREON ARE FROM  
 INFORMATION SHOWN ON THE BUILDING PLANS. WE  
 PROVIDE NO CERTIFICATION THAT THESE FOOTPRINTS,  
 DIMENSIONS, OR OFFSETS ARE AS CONSTRUCTED.

OUTREACH LEGS OF  
 BUILDING STRUCTURE  
 INCLUDING DECKS, RAV  
 WINDOWS & LANAI'S  
 (TYPICAL)

**BUILDING DIMENSION DETAIL**

**OPEN SPACE DETAIL**

**OPEN SPACE NOTE:**  
 THE DIMENSIONS OF OPEN SPACE AS SHOWN  
 HEREON IS AS PER THE LANDSCAPE PLAN PREPARED  
 BY ROBINSON, ON BEHALF OF CREATIVE  
 CONSTRUCTION.



**CHADWICK  
 WINTERS**  
 LAND SURVEYING AND MAPPING  
 1422 N.W. 69TH ST., SEATTLE, WA 98147  
 PHONE: 206.287.0996  
 FAX: 206.287.0987  
 EMAIL: CHADWICK@CHADWICKWINTERS.NET

**SURVEY IN:**  
 SE 1/4, SE 1/4, SEC. 18, T. 25N., R. 4E., W.M.  
 KING COUNTY, WASHINGTON

DATE: 7/13/18	SCALE: 1"=12'	PROJECT: 3007886
BY: [Signature]	DATE: 7/13/18	PROJECT: 3007886
CHECK BY: [Signature]	DATE: 7/13/18	PROJECT: 3007886

262130



20090511900005

SHORT-TERM DIVISION NO. 3007886

**INVESTIGATE, RECORD, UTILITY & EMERGENCY ACCESS AGREEMENT**

ALL EASEMENTS FOR POWER, GASES AND UTILITIES INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELEGRAPH, SANITARY SEWER, STORM SEWER AND FOR BUILDING REPAIR AND MAINTENANCE, AND ALSO FOR EMERGENCY ACCESS FOR SEATTLE FIRE DEPARTMENT PERSONNEL.

THE PORTION OF LOTS 12, 13 AND 14, BLOCK 65, ALIVE UNION ADDITION TO THE CITY OF SEATTLE, WASHINGTON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE S.W. CORNER OF SAID LOT 12, THENCE S 89°21'01" E ALONG THE WEST LINE OF SAID LOT FOR A DISTANCE OF 70.02 FT. TO THE POINT OF BEGINNING, THENCE S 89°21'01" E 15.00 FT.; THENCE S 19°44'47" W 18.81 FT.; THENCE S 00°39'55" W 35.30 FT.; THENCE N 02°28'59" E 29.00 FT.; THENCE S 00°28'55" W 22.00 FT.; THENCE N 89°10'05" W 35.00 FT.; THENCE N 02°28'59" E 23.80 FT. TO THE POINT OF BEGINNING.

ALL EASEMENTS FOR UTILITIES INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE, POWER, GAS, TELEPHONE, TELEGRAPH, SANITARY SEWER, STORM SEWER, STORM SEWER REPAIR AND MAINTENANCE, AND ALSO FOR EMERGENCY ACCESS FOR SEATTLE FIRE DEPARTMENT PERSONNEL.

THAT PORTION OF LOTS 12, 13 AND 14, BLOCK 65, ALIVE UNION ADDITION TO THE CITY OF SEATTLE, WASHINGTON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE S.E. CORNER OF SAID LOT 12, THENCE N 60°38'35" E ALONG THE EAST LINE OF SAID LOT FOR A DISTANCE OF 49.01 FT. TO THE POINT OF BEGINNING, THENCE N 89°21'01" W 44.00 FT.; THENCE S 89°21'01" E 34.00 FT.; THENCE N 00°39'55" W 35.30 FT.; THENCE S 89°21'01" E 15.00 FT.; THENCE S 19°44'47" W 18.81 FT.; THENCE S 00°39'55" W 35.00 FT. TO THE POINT OF BEGINNING.

**EASEMENT MAINTENANCE AGREEMENT**

SAID EASEMENTS OF THIS SHORT PLAT TO BE EQUALLY MAINTAINED, REPAIRED, AND/OR RESTORED BY THE OWNERS OF THE PARCELS HAVING LEGAL ACCESS AND UTILITY SERVICE HEREIN AND THEIR HEIRS, ASSIGNS AND SUCCESSORS.

INDIVIDUAL UTILITY SERVICE LINES INCLUDING STORM AND SANITARY SEWER LINES, ARE THE SOLE RESPONSIBILITY OF THE OWNERS OF THE UNIT OR PARCEL THE INDIVIDUAL SERVICE LINE SERVES. UTILITY SERVICE LINES WHICH SERVE MORE THAN ONE UNIT OR PARCEL SHALL BE EQUALLY MAINTAINED, REPAIRED, AND/OR RESTORED BY THE OWNERS OF THE UNITS OR PARCELS SERVED.

THIS MAINTENANCE AGREEMENT COVERS NORMAL USAGE, WEAR AND TEAR, AND LIFE EXPECTANCY OF MATERIALS. ANY DAMAGE INCURRED BY AN INDIVIDUAL UNIT OR PARCEL WHICH EXCEEDS THE NORMAL USAGE, WEAR AND TEAR, AND LIFE EXPECTANCY OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE COST OF REPAIR OR REPLACEMENT OF THE MATERIALS. IN NO EVENT SHALL ACCESS OR UTILITY SERVICE BE DENIED OTHER PROSPECTIVE OWNERS OF SAID EASEMENTS FOR MORE THAN 24 HOURS.

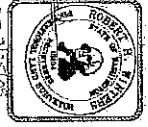
**OPEN SPACE AGREEMENT**

THE UNIT ACRES AS SHOWN AND DESCRIBED HEREIN, EACH HAVE A PERMANENT DEDICATED OPEN SPACE AND LANDSCAPE TRACT AS SHOWN ON THE FACE OF THE SHORT PLAT. THE OPEN SPACE AND LANDSCAPE TRACT AS SHOWN ON THE FACE OF THE SHORT PLAT SHALL BE THE SOLE PROPERTY OF THE OWNERS OF THE UNIT LOT. THE OWNERS OF THE UNIT LOTS OR THEIR HEIRS OR ASSIGNS SHALL NOT ALLOW OR ENTER THE OPEN SPACE AND LANDSCAPE TRACT OR OTHER UNIT LOT OWNERS WITHOUT THE PERMISSION OF SAID UNIT LOT OWNERS.

THIS AGREEMENT SHALL BE A COVENANT RUNNING WITH THE LAND AND SHALL BE BINDING UPON ALL PARTIES AND THEIR HEIRS AND ASSIGNS FOREVER.

**ADDRESS SIGN MAINTENANCE AGREEMENT**

ALL UNIT LOTS SERVING FROM THE POSTING OF THE ADDRESS SIGN AS SHOWN HEREIN ARE RESPONSIBLE FOR THE ADDRESS SIGN. THE ADDRESS SIGN SHALL BE MAINTAINED AND REPAIRED BY THE ADDRESS SIGN OWNERS.



**CHADWICK WINTERS**  
 LAND SURVEYING AND MAPPING  
 1422 N.W. 90TH ST., SEATTLE, WA 98117  
 PHONE: 206.271.0986  
 FAX: 206.271.0987  
 EMAIL: CHADWICK@WINTERSMAPPING.COM

**SURVEY IN:**  
 SET 1/4, SE 1/4, SEC. 18, T. 25N., R. 4 E., W. 1M.  
 KING COUNTY, WASHINGTON

DATE OF SURV.	DATE OF SURV.	DATE OF SURV.	DATE OF SURV.
06-15-07	06-15-07	06-15-07	06-15-07
SCALE: N/A	SCALE: N/A	SCALE: N/A	SCALE: N/A
SHEET 1 OF 8	SHEET 2 OF 8	SHEET 3 OF 8	SHEET 4 OF 8

262134

20090511900005

SHORT SUBDIVISION NO. 3007886

**COMMON WALL AGREEMENT**  
 MINUTE: THAT FOR AND IN CONSIDERATION OF THE MUTUAL COVENANTS HEREIN EXPRESSED, IT IS HEREBY AGREED BETWEEN THE PARTIES THAT:

1ST - THE WALLS WHICH ARE ON THE LOT LINES SEPARATING THE INDIVIDUAL TOWNHOMES ARE HEREBY DECLARED TO BE A "COMMON WALL". THE TERM "COMMON WALL" INCLUDES EVERYTHING LOCATED WITHIN SUCH WALL (SUCH AS FRAMING, INSULATION, CONCRETE, BRICK, JAMES, ACCESS, VENTILATION BOXES AND OTHER AS THEY ARE USED IN CONNECTION WITH THE TOWNHOMES) AND ALSO THE WALLS WHICH ARE ON THE GROUND AND FLOORS LOCATED IN THE GROUND, AND ABOVE THE WALLS (SUCH AS PATTERNS AND ROOF) AND OF THE SIDES OF THE WALLS INCLUDING THE EXTERIOR SIDES.

2ND - IF THE "COMMON WALL" IS DAMAGED OR DESTROYED FROM ANY CAUSE WHICH IS NOT THE RESULT OF FAULT OR NEGLIGENCE OF EITHER OF THE OWNERS OR OTHER PERSONS USING THE ADJACENT HOUSES, OR IS THE RESULT OF THE ADJUT OR EXCESSIVE WEIGHT OF EACH OWNER OR OTHER PERSONS OCCUPYING IN USING THEIR RESPECTIVE HOUSES, EACH OWNER SHALL BE RESPONSIBLE FOR REPAIRING THE COMMON WALL. THE COST OF REPAIR SHALL BE SHARED EQUALLY.

3RD - IF THE "COMMON WALL" IS DAMAGED OR DESTROYED FROM ANY CAUSE WHICH IS THE RESULT OF FAULT OR NEGLIGENCE OF EITHER OF THE OWNERS OR OTHER PERSONS USING THE ADJACENT HOUSES, THEN THAT RESPONSIBLE OWNER SHALL BEAR THE SOLE COST OF REPAIR OR RECONSTRUCTION.

4TH - WHEN NECESSARY TO REPAIR OR RECONSTRUCT THE "COMMON WALL", THE PARTIES TO THIS AGREEMENT SHALL MAKE THE RIGHT OF ENTRY FOR THAT PURPOSE.

5TH - THIS AGREEMENT SHALL BE A COVENANT RUNNING WITH THE LAND AND SHALL BE BINDING UPON ALL PARTIES AND THEIR HEIRS AND ASSONS FOREVER.

**ELECTRICAL, TELEPHONE & CABLE TV. EASEMENT AGREEMENT**  
 MINUTE: THAT FOR AND IN CONSIDERATION OF THE MUTUAL COVENANTS HEREIN EXPRESSED, IT IS HEREBY AGREED BETWEEN THE PARTIES THAT:

1ST - AN EASEMENT FOR ELECTRICAL, TELEPHONE, AIR-CABLE TELEVISION CONNECTION AND WATER DROPS AS CONSTRUCTED SHALL BE GRANTED TO THE UTILITY COMPANY AND THROUGH THE BUILDING FROM THE COMMON CONNECTION MAIN TO EACH HOUSE.

2ND - THERE SHALL BE A COMMON CONNECTION AND THE LINES SHALL BE AS CONSTRUCTED FOR THE USE AND BENEFIT OF ALL PROPERTIES.

3RD - THE COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF THAT PORTION OF THE DISTRIBUTION SYSTEM USED IN COMMON SHALL BE SHARED IN EQUAL SHARES, EXCEPT WHEN SUCH REPAIRS OR RECONSTRUCTION ARE THE RESULT OF DAMAGE TO A SINGLE OWNER IS RESPONSIBLE, THEN THAT OWNER SHALL BE RESPONSIBLE FOR THE COST.

4TH - THIS AGREEMENT SHALL BE A COVENANT RUNNING WITH THE LAND AND SHALL BE BINDING UPON ALL PARTIES AND THEIR HEIRS AND ASSONS FOREVER.

**JOINT USE / MAINTENANCE AGREEMENT**  
 MINUTE: THAT FOR AND IN CONSIDERATION OF THE MUTUAL COVENANTS HEREIN EXPRESSED, IT IS HEREBY AGREED BETWEEN ALL PARTIES HAVING OWNERSHIP IN THIS CITY OF SEATTLE SHORT SUBDIVISION THAT:

1ST - EACH OWNER IS RESPONSIBLE FOR THE MAINTENANCE REPAIR AND REPAIRING OF THEIR INDIVIDUAL TOWNHOME. EACH OWNER SHALL KEEP THEIR TOWNHOME AND PROPERTY IN GOOD STATE OF REPAIR, AND WILL KEEP THE DRIVEWAY (PAVEMENT EXCEPT FOR INGRESS, EGRESS AND UTILITIES) CLEAR AT ALL TIMES. EASEMENTS HAVE BEEN GRANTED AND SHARED TO ALL OWNERS HAVING LEGAL ACCESS FROM SAID EASEMENTS ARE TO SHARE EQUALLY IN THE MAINTENANCE AND REPAIR OF THE EASEMENT AREAS. LANDSCAPE MAINTENANCE IS THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS, BUT IT IS EXPECTED THAT ALL OWNERS WILL MAINTAIN AND REPAIR TO SO WITH ONE AND RESPECT FOR THE DRIVEWAYS OF THE ALLEYS AND DRIVEWAYS.

2ND - EACH ROOF SHALL BE CARED FOR AND MAINTAINED BY THE OWNERS OF THE PROPERTY UPON WHICH THE ROOF IS COVERED. IN THE EVENT THAT THE MATERIALS WILL BE SHARED IN THE QUALITY AND COLOR OF THE ORIGINAL ROOF, UNLESS INITIALLY AGREED UPON. THE COST OF SUCH REPAIR OR MAINTENANCE OF THE INDIVIDUAL PROPERTY OWNERS) MAKING THE ROOF REPAIR OR MAINTENANCE SERVICES IN THE COSTS WILL BE SHARED EQUALLY. IF BETWEEN THE PROPERTY OWNERS) IN PROPORTION WITH EACH OWNERS) AREA OF ROOF ON THAT BUILDING, SUCH A ROOF REPAIR (REPAIR) WILL BE REQUIRED EVERY 20 YEARS (OR AS WARRANTED BY THE ROOFING MATERIAL MANUFACTURER) UNLESS DELAYED BY MUTUAL AGREEMENT OF THE OWNERS) OF THAT BUILDING.

3RD - SHARED WALL, STAIR AND EXTERIOR TRAIL SHALL BE CARED FOR AND MAINTAINED BY THE OWNERS) OF THE PROJECT UPON WHICH THE SHARED WALLS STAIR AND EXTERIOR TRAIL IS LOCATED. IN THE EVENT A PROPERTY OWNER EXPRESSLY THAT THE MATERIALS WILL BE SHARED IN THE QUALITY AND COLOR OF THE ORIGINAL WALLS, STAIR AND EXTERIOR TRAIL, UNLESS INITIALLY AGREED UPON. THE COST OF SUCH REPAIR OR REPAIRMENT IS THE SOLE RESPONSIBILITY OF THE OWNERS) MAKING THE WALLS STAIR AND EXTERIOR TRAIL REPAIRMENT FOR A BUILDING WITHIN THIS SHORT SUBDIVISION. COSTS WILL BE SHARED EQUALLY BETWEEN THE PROPERTY OWNERS) IN PROPORTION WITH EACH OWNERS) AREA OF WALLS, STAIR AND EXTERIOR TRAIL ON THAT BUILDING.

4TH - COMMON SIDE SINKS AND COMMON STORM DRAINAGE SYSTEMS SERVING THE UNIT LOTS WITHIN THIS SUBDIVISION SHALL BE MAINTAINED EQUALLY BY THE OWNERS OF SAID LOTS.

5TH - THIS AGREEMENT SHALL BE A COVENANT RUNNING WITH THE LAND AND SHALL BE BINDING UPON ALL ADJACENTED PARTIES) AND THEIR HEIRS, AND ASSONS FOREVER.



**CHADWICK WINTERS**  
 LAND SURVEYING AND MAPPING  
 1422 N.W. 90TH ST., SEATTLE, WA 98147  
 PHONE: 206.287.0886  
 FAX: 206.287.0897  
 EMAIL: CWA@CHADWICKWINTERS.COM

**SURVEY INC.**  
 SE 1/4, SE 1/4, SEC. 18, T. 25N., R. 4 E., W14  
 KING COUNTY, WASHINGTON  
 4th RECORD 114

DATE	BY	NO.	DATE	BY	NO.
12/15/07	154	1	12/15/07	154	1
12/15/07	154	1	12/15/07	154	1





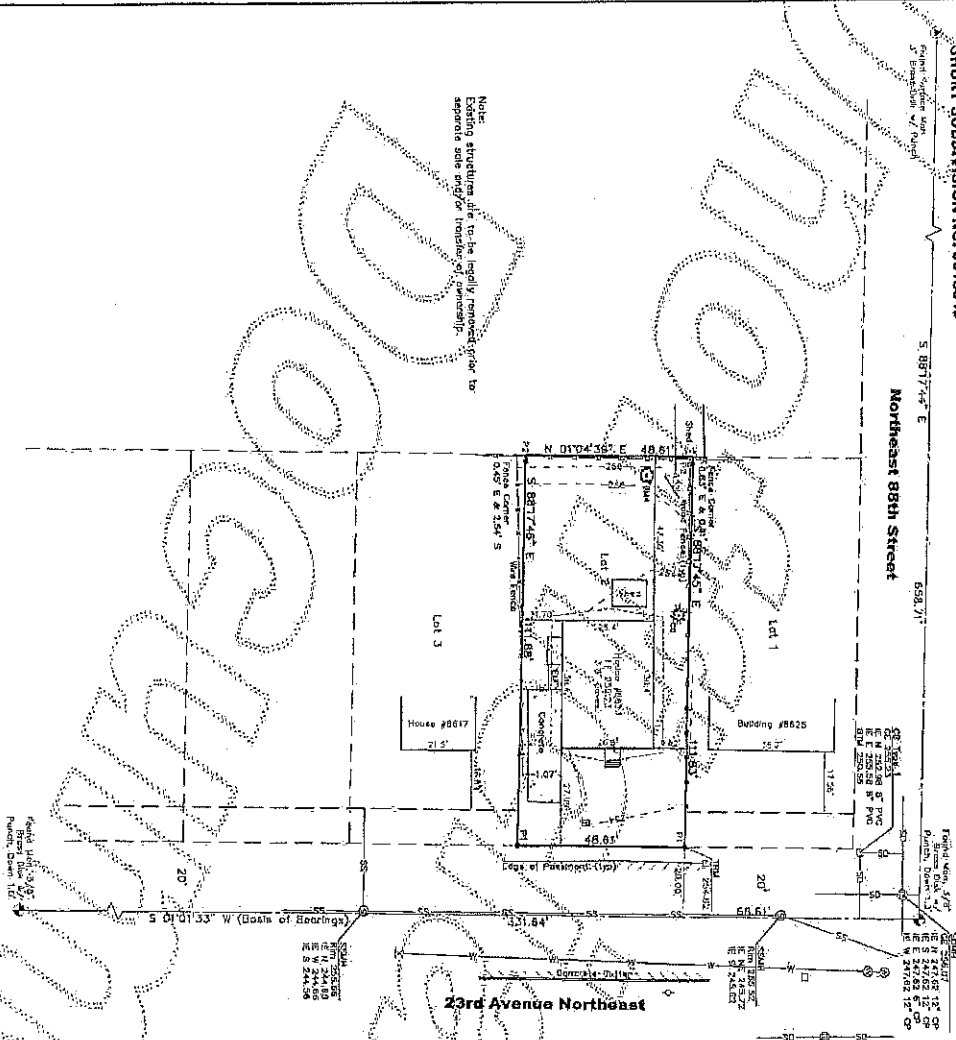
Revision to Short Subdivision No. 3013349  
recorded under #20120821900007 superseding  
short subdivision recorded under #20080528900006.





SHORT SUBDIVISION NO. 3013349

SUPERSEDES APN 20080528900006



Note:  
Existing structures due to be legally removed prior to separate sale under condition of purchase.



**LEGAL DESCRIPTION**

LOT 2, MAKE S. BEAR 10 MAKE LEFT ADDITION TO GREEN LAKE CIRCLE ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 118, RECORDS OF KING COUNTY, WASHINGTON.

**TREE DESCRIPTIONS**

Big Leaf Maple (Aster macrophyllum)  
Cedar (cedrus)

**PROPERTY CORNERS**

P1 Set Range of Cor. US 30081  
P2 Set Range of Cor. US 30081, 2' Offset

**SURVEY NOTES**

INSTRUMENT USED: SOXMA SET 5 EDM  
METHOD USED: FIELD TRAVERSE  
APPROXIMATE POINT ACCURACY: 40.05'

**MONUMENTS SHOWN HEREON WERE VISITED ON JULY 26, 2006.**

THE INFORMATION SHOWN ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE INDICATED DATE AND CONDITION AT THAT TIME.

NO ENCUMBRANCES, RESTRICTIONS OR RESERVATIONS OF RECORD WERE FOUND TO AFFECT THIS SURVEY.

**VERTICAL DATUM - NAVD 83**

CENTROID INTERVAL - 2 FEET

BENCH MARK POINT NAME: SW-0229 City of Seattle Brass Cap, stamped 0229, 15' N of S end of cor. 0235 W of E corner of the NE corner of the pt. of Lake City Hwy NE at NE 8500 St. BSM - 3281924.

**EMERALD LAND SURVEYING, INC.**  
PO BOX 138694, WIL. CREEK, WA, 98034  
PH (425) 359-7188 FAX (425) 353-0750  
www.emeraldlandsurveying.com

SURVEY IN S.E. 1/4, S.W. 1/4,  
SEC. 33, T. 26N., R. 4E.

DWN. BY:	DATE:	JOB NO.
EBLE	7/11/12	08325
CHK. BY:	SHEET	SHEET 3 OF 5
	1 = 20'	

**SURVEYOR'S CERTIFICATE**

This map represents a survey made by me or under my direction in conformity with the requirements of the SURVEYING ACT, RCW 71A.010 through 71A.030, and I am a duly licensed Surveyor in the State of Washington.

Surveyor's Name: \_\_\_\_\_  
Certificate Number: 10561

TE

county:

F 2  
2 20120821900007  
W 20120821900007  
Auditor

Deputy Auditor

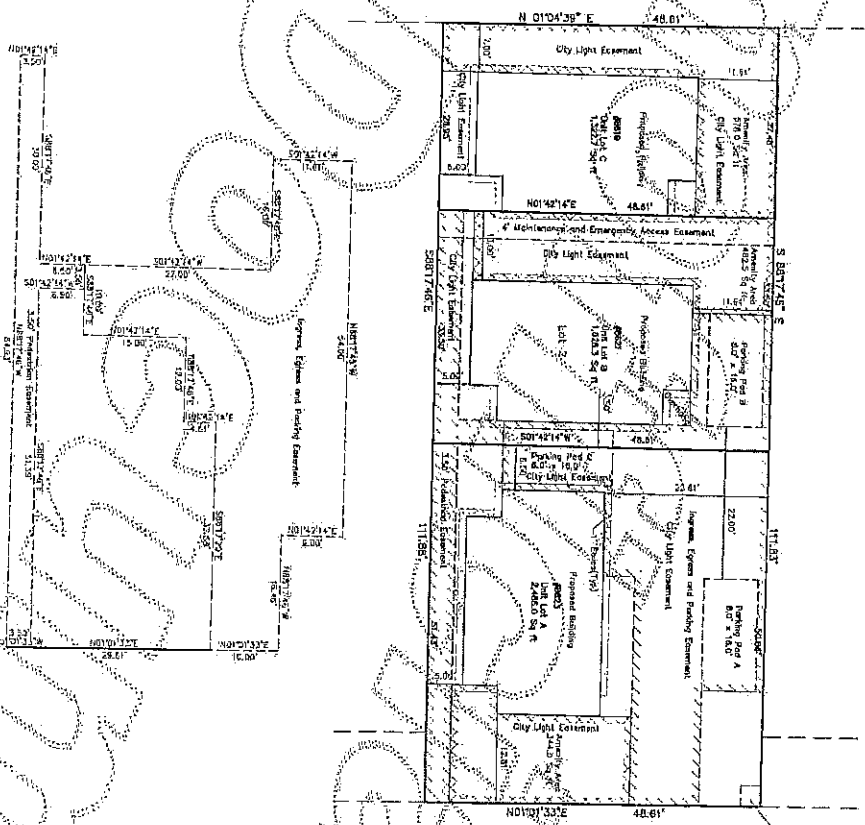


**RECORD OF SURVEY**  
Square One Homes LLC  
8623 23rd Avenue Northeast  
Seattle, WA 98115

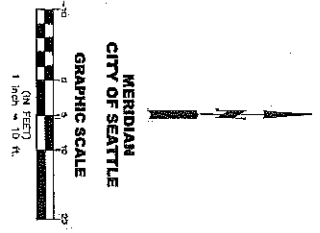
SHORT SUBDIVISION NO. 3073349

SUPERSEDES AFN 20080528900006

200/201

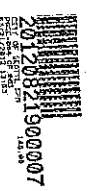


23rd Avenue Northeast



**SURVEY NOTE**  
 THE PROPOSED BUILDINGS AND BUILDING ARCHITECTURAL FEATURES ARE SHOWN AS-BUILT AND THE AS-BUILT LOCATION OF THESE FEATURES HAVE NOT BEEN VERIFIED BY THIS SURVEY.

**UTILITY EASEMENT**  
 A UTILITY EASEMENT HAS BEEN GRANTED FOR THE BENEFIT OF LOTS WITHIN THIS UNIT LOT SUBDIVISION OVER AND ACROSS THE WHOLE PARENT PARCEL. THIS EASEMENT SHALL INCLUDE BUT NOT BE LIMITED TO UNDERGROUND UTILITIES, WATER, GAS, TELEPHONE, CABLE, AND FIBER OPTIC CABLES, AND SHALL INCLUDE THE RIGHT OF REPAIR, MAINTENANCE AND EMERGENCY ACCESS.



TE  
 County

**SURVEYORS CERTIFICATE**  
 This map represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act of the State of Washington, 2012.



**RECORD OF SURVEY**  
 Square One Homes LLC  
 8623 23rd Avenue Northeast  
 Seattle, WA 98115

SURVEY IN S.E. 1/4, S.W. 1/4, SEC. 23, T. 26N., R. 4E	
DATE: 7/11/12	JOB NO. 06328
CHK BY: EBLE	SCALE: 1" = 10'
SHEET 4 OF 5	

**EMERALD LAND SURVEYING, INC.**  
 PO BOX 18894 MELT GREEN, WA 98082  
 PH: (425) 359-7188 FAX: (425) 357-0750  
 Email: emerald@emeraldsl.com

Deputy Auditor





**UNIT LOT A**

THAT PORTION OF LOT 2, ACRES 5, BLOCK 10, MAPLE LEAF ADDITION TO GREEN LAKE CIRCLE ACCORDING TO THE PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 115, RECORDS OF KING COUNTY, WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE N 01°07'33" E ALONG THE EAST MARGIN OF SAID LOT, 48.61 FEET TO THE NORTH MARGIN OF SAID LOT 2; THENCE N 88°17'45" W ALONG SAID MARGIN, 57.28 FEET; THENCE S 01°42'15" W, 48.61 FEET TO THE SOUTH MARGIN OF SAID LOT 2; THENCE S 88°17'45" E ALONG SAID MARGIN, 57.28 FEET TO THE POINT OF BEGINNING.

CONTAINING IN ALL 2,840 SQUARE FEET SUBJECT TO AND TOGETHER WITH A INGRESS AND EGRESS EASEMENT FOR THE BENEFIT OF UNIT LOTS INCLUSIVE TO CITY OF SEATTLE SHORT SUBDIVISION NUMBER 300814 OVER AND FOLLOWING THAT PORTION OF SAID LOT 2, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE N 01°07'33" E ALONG THE EAST MARGIN OF SAID LOT, THENCE N 88°17'45" E, 38.61 FEET TO THE NORTH MARGIN OF SAID LOT 2; THENCE N 01°42'15" E, 48.61 FEET TO THE SOUTH MARGIN OF SAID LOT 2; THENCE S 88°17'45" W ALONG SAID MARGIN, 68.88 FEET TO THE POINT OF BEGINNING.

ALSO SUBJECT TO AN INGRESS AND EGRESS EASEMENT FOR THE BENEFIT OF SAID UNIT AND CROSSING SAID LOT 2, THEREOF, SAID EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO UNDERGROUND WATERLINES, STORM SEWER, AND FOR BUILDING REPAIR, MAINTENANCE AND EMERGENCY ACCESS.

**UNIT LOT B**

THAT PORTION OF LOT 2, ACRES 5, BLOCK 10, MAPLE LEAF ADDITION TO GREEN LAKE CIRCLE ACCORDING TO THE PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 115, RECORDS OF KING COUNTY, WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE N 01°07'33" E ALONG THE SOUTH MARGIN OF SAID LOT 2, 67.85 FEET; THENCE N 01°42'15" E, 24.28 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY PROJECTION OF A PARTY BOUNDARY IN A PROPOSED BUILDING, AND THE TRUE POINT OF BEGINNING; THENCE N 88°17'45" W ALONG SAID WALL AND ITS PROJECTIONS, 54.29 FEET TO THE WEST MARGIN OF SAID LOT 2; THENCE N 01°07'33" E ALONG SAID MARGIN, 24.33 FEET TO THE NORTH MARGIN OF SAID LOT 2; THENCE S 88°17'45" E ALONG SAID MARGIN, 54.58 FEET; THENCE S 01°42'15" W, 21.33 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINING IN ALL 1,326 SQUARE FEET SUBJECT TO AND TOGETHER WITH A INGRESS AND EGRESS EASEMENT FOR THE BENEFIT OF UNIT LOTS INCLUSIVE TO CITY OF SEATTLE SHORT SUBDIVISION NUMBER 300814 OVER AND FOLLOWING THAT PORTION OF SAID LOT 2, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE N 01°07'33" E ALONG THE EAST MARGIN OF SAID LOT, 10.00 FEET; THENCE N 88°17'45" W, 46.73 FEET; THENCE N 01°42'15" E, 38.61 FEET TO THE NORTH MARGIN OF SAID LOT 2; THENCE S 88°17'45" W ALONG SAID MARGIN, 23.50 FEET; THENCE S 01°42'15" W, 48.61 FEET TO THE SOUTH MARGIN OF SAID LOT 2; THENCE S 88°17'45" E ALONG SAID MARGIN, 68.88 FEET TO THE POINT OF BEGINNING.

ALSO SUBJECT TO AN ADDRESS SIGN AND SIGN MAINTENANCE EASEMENT OVER AND ACROSS THE NORTH 3.00 FEET OF SAID LOT 1 A OF SAID SHORT SUBDIVISION THEREOF.

ALSO SUBJECT TO AND TOGETHER WITH A UTILITY EASEMENT FOR THE BENEFIT OF SAID UNIT LOTS OVER, UNDER AND ACROSS SAID LOT 2, THEREOF, SAID EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO UNDERGROUND WATERLINES, STORM SEWER, AND FOR BUILDING REPAIR, MAINTENANCE AND EMERGENCY ACCESS.

**UNIT LOT C**

THAT PORTION OF LOT 2, ACRES 5, BLOCK 10, MAPLE LEAF ADDITION TO GREEN LAKE CIRCLE ACCORDING TO THE PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 115, RECORDS OF KING COUNTY, WASHINGTON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE N 01°07'33" E ALONG THE SOUTH MARGIN OF SAID LOT 2, 67.85 FEET TO THE POINT OF BEGINNING; THENCE N 01°42'15" E, 24.28 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY PROJECTION OF A PARTY BOUNDARY IN A PROPOSED BUILDING, AND THE TRUE POINT OF BEGINNING; THENCE N 88°17'45" W ALONG SAID WALL AND ITS PROJECTIONS, 54.29 FEET TO THE WEST MARGIN OF SAID LOT 2; THENCE N 01°07'33" E ALONG SAID MARGIN, 24.28 FEET TO THE SOUTH MARGIN OF SAID LOT 2; THENCE S 88°17'45" E ALONG SAID MARGIN, 54.03 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINING IN ALL 1,314.8 SQUARE FEET SUBJECT TO AND TOGETHER WITH A INGRESS AND EGRESS EASEMENT FOR THE BENEFIT OF UNIT LOTS INCLUSIVE TO CITY OF SEATTLE SHORT SUBDIVISION NUMBER 300814 OVER AND FOLLOWING THAT PORTION OF SAID LOT 2, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 2; THENCE N 01°07'33" E ALONG THE EAST MARGIN OF SAID LOT, 10.00 FEET; THENCE N 88°17'45" W, 46.73 FEET; THENCE N 01°42'15" E, 38.61 FEET TO THE NORTH MARGIN OF SAID LOT 2; THENCE S 88°17'45" W ALONG SAID MARGIN, 22.09 FEET; THENCE S 01°42'15" W, 48.61 FEET TO THE SOUTH MARGIN OF SAID LOT 2; THENCE S 88°17'45" E ALONG SAID MARGIN, 68.88 FEET TO THE POINT OF BEGINNING.

ALSO SUBJECT TO AN ADDRESS SIGN AND SIGN MAINTENANCE EASEMENT OVER AND ACROSS THE SOUTH 3.00 FEET OF SAID LOT 1 A OF SAID SHORT SUBDIVISION THEREOF.

ALSO SUBJECT TO AND TOGETHER WITH A UTILITY EASEMENT FOR THE BENEFIT OF SAID UNIT LOTS OVER, UNDER AND ACROSS SAID LOT 2, THEREOF, SAID EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO UNDERGROUND WATERLINES, STORM SEWER, AND FOR BUILDING REPAIR, MAINTENANCE AND EMERGENCY ACCESS.



**DATE**

Yes \_\_\_\_\_  
County \_\_\_\_\_  
E \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

This map represents a survey made by me or under my direction in conformity with the requirements of the Survey Recording Act of the request of \_\_\_\_\_, 2006  
In, KING COUNTY, WA

Certificate Number 30581



**RECORD OF SURVEY**

Howland Homes LLC  
8623 23rd Avenue Northeast  
Seattle, WA 98115

**EMERALD LAND SURVEYING, INC.**

PO BOX 15894 WLD, SEBEL, WA 98082  
P: (206) 359-7198 FAX (206) 357-0750  
Email: greg@emerald.com

SURVEY IN S.E. 1/4, S.W. 1/4,  
SEC. 33, T. 26N., R. 4E

CHK. BY:	SCALE:	SHEET:
ERLE	1" = 20'	24 OF 5
DWN: BY:	DATE:	JOB NO:
BLE	2/15/08	06326

20080528900006  
KING COUNTY, WA  
Auditor \_\_\_\_\_  
Deputy Auditor \_\_\_\_\_







EXHIBIT "A" TO CITY OF SEATTLE  
 SHORT SUBDIVISION NO. 3006314  
 P.M. #200613-2-034

EASEMENT (Overhead and Underground)

THIS EASEMENT GRANTS to the City of Seattle, hereafter called the Grantee, the easements and easements, the right, utility and authority to install, maintain, operate, use, repair, replace, upgrade, improve, alter, modify, relocate, remove, and remove any and all overhead and underground electric facilities at depths not exceeding 75 feet, which consist of poles with braces, guys and anchors, crossarms, conductors, insulators, brackets, hardware, cabinets, containers, conduits, wires and other necessary or appurtenant equipment, and to install, maintain, operate, use, repair, replace, upgrade, improve, alter, modify, relocate, remove, and remove any and all electric systems, all such electric systems to be located across, over, upon and under the following described lands and premises situated in the County of King, State of Washington, to wit: Parcel 1000 of Lot 2, Block 10, The Sample Land Addition to Ocean Lake Circle, according to the plat recorded in Volume 2 of Plats, Page 115, recorded in King County, Washington, described as follows:

Beginning at the southeast corner of said Lot 2, 1600 feet to the TRUE POINT OF BEGINNING;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the north line of said Lot 2;

thence North 104°38' East, along the north line of said Lot 2, 101.83 feet, more or less, to the northwest corner thereof;

thence South 88°17'48" West, along the west line of said Lot 2, 5.51 feet, more or less, to a point that is 26.33 feet West of the west line of said Lot 2, 85.49 feet, more or less, from the northwest corner thereof;

thence South 14°15' West, 25.50 feet, more or less, to a point that is 10.00 feet North of the south line of said Lot 2;

thence North 88°17'48" West, parallel with the south line of said Lot 2, 38.89 feet, more or less, to the southwest corner thereof;

thence North 88°17'48" West, 4.97 feet, more or less, to a point that is 5.03 feet North of the south line of said Lot 2;

thence North 88°17'48" West, parallel with the south line of said Lot 2, 34.09 feet, more or less, to the southwest corner thereof;

thence South 104°38' West, along the west line of said Lot 2, 2.03 feet, more or less, to the southwest corner thereof;

thence South 88°17'48" East, along the south line of said Lot 2, 101.83 feet, more or less, to the true point of beginning;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

thence North 104°38' East, parallel with the centerline of 2<sup>nd</sup> Avenue Northwest, 48.81 feet, more or less, to the northeast corner of said Lot 2;

ITE  
 /S  
 County,  
 F

20080528900006  
 121.88

**SURVEYORS CERTIFICATE**  
 This map represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of HOWLAND HOMES, LLC in NOVEMBER, 2006  
 Certificate Number 30081



**RECORD OF SURVEY**  
 Howland Homes, LLC  
 8823 23rd Avenue Northeast  
 Seattle, WA 98115

**EMERALD LAND SURVEYING, INC.**  
 13884 MILL CREEK, WA, 98082  
 PH: (425) 389-7188; FAX: (425) 357-0750  
 Email: emeraldpls@aol.com

SURVEY IN S.E. 1/4 S.W. 1/4, SEC. 33, T. 26N., R. 4E.  
 DWN. BY: DATE: JOB NO.  
 BLE 2/15/08 06326  
 CHK. BY: SCALE: SHEET 5 OF 5  
 EBLE 1" = 20'

247/124

---

Revision to Short Subdivision No. 3009824  
recorded under #20090817001180 superseding  
short subdivision recorded under #20090918000539.



~~INDIVIDUAL~~

Know all people by these presents that we, the undersigned, owner(s) in fee simple (and contract purchaser(s)) of the land herein described do hereby make a boundary line adjustment thereof pursuant to RCW 58.17.040(6) and declare this boundary line adjustment to be the graphic representation of same, and that said boundary line adjustment is made with the free consent and in accordance with the desire of the owner(s).

Name CHARLES E VASSER Name \_\_\_\_\_

Name MARCITA EALY Name \_\_\_\_\_

Name \_\_\_\_\_ Name \_\_\_\_\_

~~INDIVIDUAL~~  
STATE OF WASHINGTON )  
 ) ss.  
COUNTY OF KING )

On this 20 day of FEB, 2007, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Charles E. Vasser to me known to be the individual that executed the foregoing instrument and acknowledged the said instrument to be free and his/her free and voluntary act and deed, for the uses and purposes therein mentioned.

Witness my hand and official seal hereto affixed the day and year first above written.



Irene Sanders

Notary Public in and for the State of Washington,  
residing at 1547 STOKAS AVE S

~~INDIVIDUAL~~  
STATE OF WASHINGTON )  
 ) ss.  
COUNTY OF KING )

On this 20 day of FEB, 2007, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Marcita Ealy to me known to be the individual that executed the foregoing instrument and acknowledged the said instrument to be free and his/her free and voluntary act and deed, for the uses and purposes therein mentioned.

Witness my hand and official seal hereto affixed the day and year first above written.

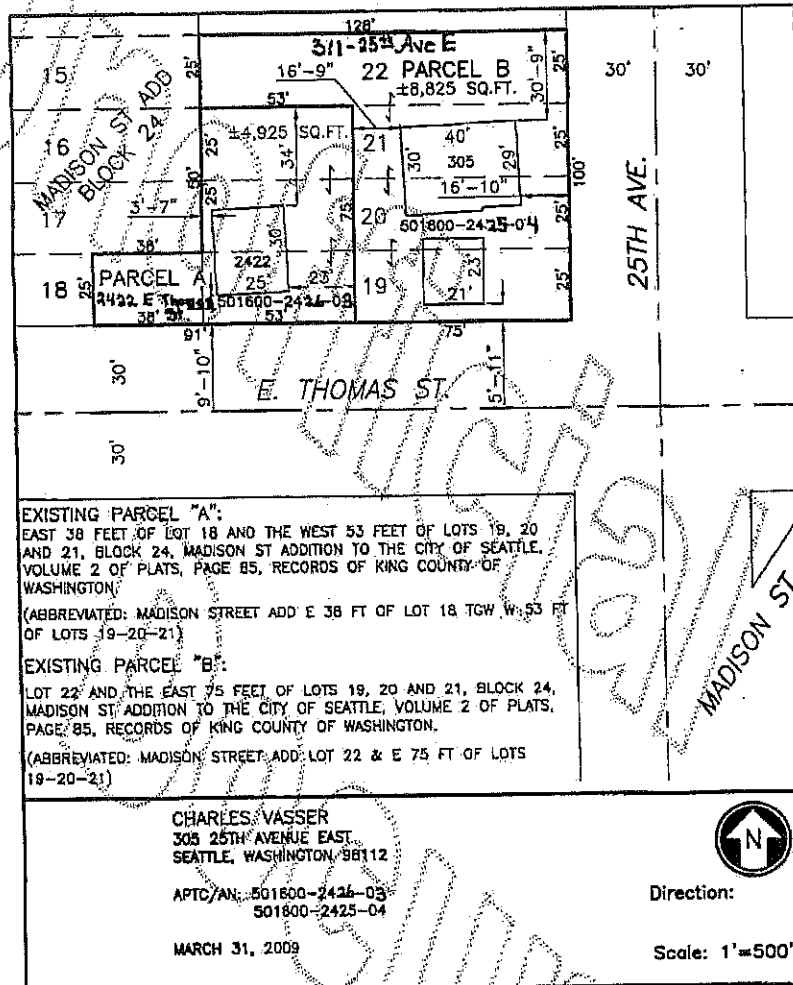


Irene Sanders

Notary Public in and for the State of Washington,  
residing at 1547 STOKAS AVE S  
SEA, WA 98148

Page \_\_\_\_\_ of \_\_\_\_\_

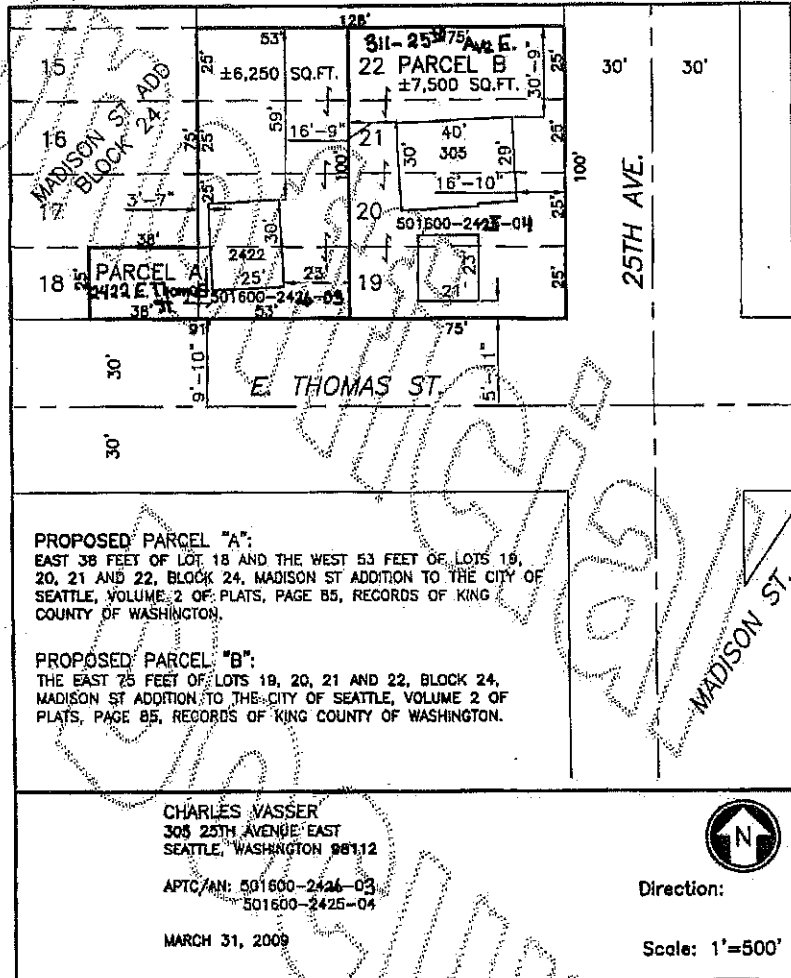
LOT BOUNDARY ADJUSTMENT # 3009824



If the plat is not based upon a survey by a Washington State licensed surveyor, the signatures of the owners of the property are the only surety that the representations on the plat are correct.

Survey Waived: *James H. ...*  
 Department of Planning and Development

LOT BOUNDARY ADJUSTMENT # 3009824



If the plat is not based upon a survey by a Washington State licensed surveyor, the signatures of the owners of the property are the only surety that the representations on the plat are correct.

Survey Waived: *Thomas Vasser*  
 Department of Planning and Development



Return recorded lot boundary adjustment to:

Applicant's Name Charles E Vasser  
Address 305 25 TH AVE EAST  
Telephone 206-329-9185



20090817001180

DEPT OF CONSTR BLA 116.00  
PAGE 001 OF 008  
08/17/2009, 11:30  
KING COUNTY, WA

LOT BOUNDARY ADJUSTMENT

City of Seattle

King County, Washington

Master Use Permit Application Number: 3009824

GRANTOR (OWNERS-Last, First, MI):

Charles E Vasser

NOTE: Approval of this boundary adjustment by the Director of the Seattle Department of Planning and Development under RCW 58.17.040(6) is not to be construed as satisfaction of any other applicable legislation or regulations.

GRANTEE: CITY OF SEATTLE, KING COUNTY

Lots (Section)	Block (Township)	Subdivision (Range)	Vol. Pg.

Complete Legal Descriptions on pages 13 WEST 53 FT OF LOT 22 BLK 24

MADISON ST ADD TO THE CITY OF SEATTLE

APPROVAL VOLUME 2 OF PLATS, PG 85 RECORDS OF

King Co, WA

Diane Sugimura, Director  
Department of Planning and Development  
City of Seattle

Examined and approved this 10th day of August, 2009

By: Thorn Henry for  
Director, Department of Planning and Development

DEPARTMENT OF ASSESSMENTS

Examined and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Assessor

Deputy Assessor

Parcel A Owner's Name	Address	City	Zip	Phone
<u>Marcita Ealy</u>	<u>2404 East Thomas</u>	<u>Seattle</u>	<u>WA 98112</u>	<u>206-325-6464</u>
Parcel B Owner's Name	Address	City	Zip	Phone
<u>Charles Vasser</u>	<u>305 25 Th Ave East</u>	<u>Seattle</u>	<u>WA 98118</u>	<u>206-329-9185</u>
Parcel C Owner's Name	Address	City	Zip	Phone

**\*\*SAMPLE LEGAL DESCRIPTION FOR 8½ x 14 VERSION\*\***

LEGAL DESCRIPTIONS (Provide full legal descriptions of the existing parcels and the lots created by the lot boundary adjustment. Attach additional pages as necessary.)

ORIGINAL LEGAL DESCRIPTION, PARCEL A:

LOT 23, BLOCK 10, BALLARD PARK ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 80, RECORDS OF KING COUNTY, WASHINGTON, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

REVISED LEGAL DESCRIPTION, PARCEL A:

THE SOUTHERNLY 31 FEET OF THE FOLLOWING DESCRIBED PARCEL:  
LOTS 21, 22 AND 23, BLOCK 10, BALLARD PARK ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 80, RECORDS OF KING COUNTY, WASHINGTON, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

ORIGINAL LEGAL DESCRIPTION, PARCEL B:

LOTS 21 AND 22, BLOCK 10, BALLARD PARK ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 80, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

REVISED LEGAL DESCRIPTION, PARCEL B:

LOTS 21, 22, AND 23, BLOCK 10, BALLARD PARK ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 80, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON, EXCEPT THE SOUTHERNLY 31 FEET THEREOF.

**DECLARATION: INDIVIDUAL**

Know all people by these presents that we, the undersigned, owner(s) in fee simple (and contract purchaser(s)) of the land herein described do hereby make a boundary line adjustment thereof pursuant to RCW 58.17.040(6) and declare this boundary line adjustment to be the graphic representation of same; and that said boundary line adjustment is made with the free consent and in accordance with the desire of the owner(s).

Name CHARLES EVASSER Name \_\_\_\_\_

Name Marcita Ealy Name \_\_\_\_\_

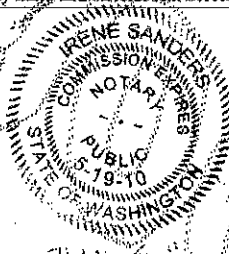
Name \_\_\_\_\_ Name \_\_\_\_\_

STATE OF WASHINGTON )  
 ) ss.  
COUNTY OF KING )

INDIVIDUAL

On this 20 day of FEB, 2009, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Charles Evasser to me known to be the individual that executed the foregoing instrument and acknowledged the said instrument to be free and his/her free and voluntary act and deed, for the uses and purposes therein mentioned.

Witness my hand and official seal hereto affixed the day and year first above written.



Irene Sanders

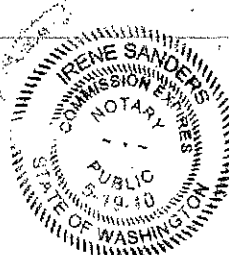
Notary Public in and for the State of Washington,  
residing at 1547 STURGIS AVE S

STATE OF WASHINGTON )  
 ) ss.  
COUNTY OF KING )

INDIVIDUAL

On this 20 day of FEB, 2009, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Marcita Ealy to me known to be the individual that executed the foregoing instrument and acknowledged the said instrument to be free and his/her free and voluntary act and deed, for the uses and purposes therein mentioned.

Witness my hand and official seal hereto affixed the day and year first above written.



Irene Sanders

Notary Public in and for the State of Washington,  
residing at 1547 STURGIS AVE S

**DECLARATION: CORPORATION**

Know all people by these presents that we, the undersigned, owner(s) in fee simple (and contract purchaser(s)) of the land herein described do hereby make a boundary line adjustment thereof pursuant to RCW 58.17.040(6) and declare this boundary line adjustment to be the graphic representation of same, and that said boundary line adjustment is made with the free consent and in accordance with the desire of the owner(s).

Name CHARLES E. VASSER Name \_\_\_\_\_

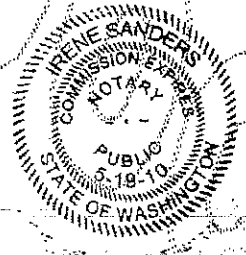
Name Marita Ealy Name \_\_\_\_\_

Name \_\_\_\_\_ Name \_\_\_\_\_

STATE OF WASHINGTON )  
 ) ss.  
COUNTY OF KING ) CORPORATION

On this 20 day of FEB, 2009, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Charles E. Vasser to me known to be the \_\_\_\_\_ of \_\_\_\_\_ the corporation that executed the foregoing instrument and acknowledged the said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned; and that \_\_\_\_\_ is authorized to execute the said instrument and that the seal affixed (if any) is the corporate seal of said corporation.

Witness my hand and official seal hereto affixed the day and year first above written.



Irene Sanders

Notary Public in and for the State of Washington, residing at 1547 STURGIS AVE S

STATE OF WASHINGTON )  
 ) ss.  
COUNTY OF KING ) CORPORATION

On this 20 day of FEB, 2009, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared Marita Ealy to me known to be the individual that executed the foregoing instrument and acknowledged the said instrument to be free and his/her free and voluntary act and deed, for the uses and purposes therein mentioned.

Witness my hand and official seal hereto affixed the day and year first above written.



Irene Sanders

Notary Public in and for the State of Washington, residing at 1547 STURGIS AVE S

Page \_\_\_\_\_ of \_\_\_\_\_

**\*\*SAMPLE LEGAL DESCRIPTION FOR 8 1/2 x 14 VERSION\*\***

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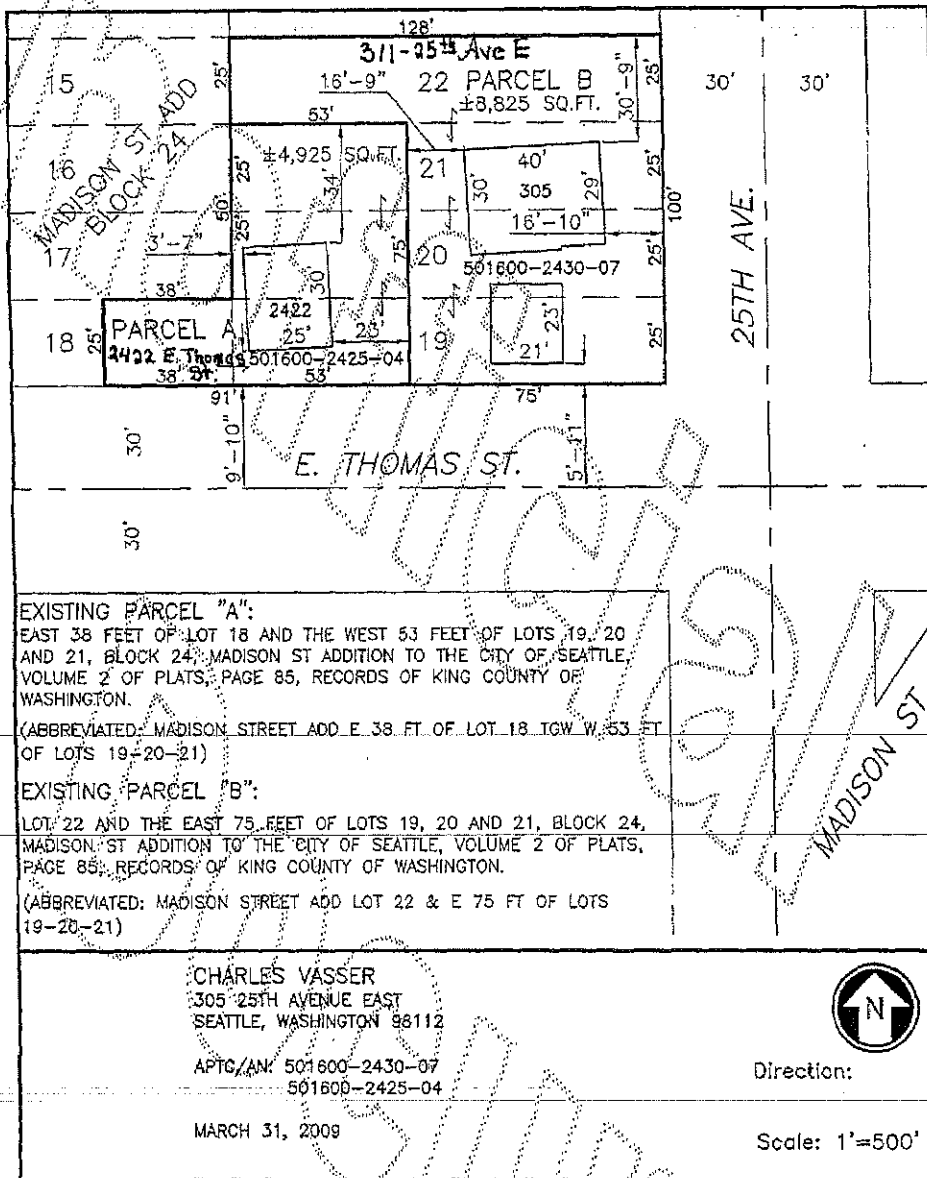
ORIGINAL LEGAL DESCRIPTION, PARCEL B:

LOTS 21 AND 22, BLOCK 10, BALLARD PARK ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 80, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

REVISED LEGAL DESCRIPTION, PARCEL B:

LOTS 21, 22, AND 23, BLOCK 10, BALLARD PARK ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 80, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON, EXCEPT THE SOUTHERNLY 31 FEET THEREOF.

LOT BOUNDARY ADJUSTMENT # 3009824



**EXISTING PARCEL "A":**  
 EAST 38 FEET OF LOT 18 AND THE WEST 53 FEET OF LOTS 19, 20 AND 21, BLOCK 24, MADISON ST ADDITION TO THE CITY OF SEATTLE, VOLUME 2 OF PLATS, PAGE 85, RECORDS OF KING COUNTY OF WASHINGTON.  
 (ABBREVIATED: MADISON STREET ADD E 38 FT OF LOT 18 TGW W 53 FT OF LOTS 19-20-21)

**EXISTING PARCEL "B":**  
 LOT 22 AND THE EAST 75 FEET OF LOTS 19, 20 AND 21, BLOCK 24, MADISON ST ADDITION TO THE CITY OF SEATTLE, VOLUME 2 OF PLATS, PAGE 85, RECORDS OF KING COUNTY OF WASHINGTON.  
 (ABBREVIATED: MADISON STREET ADD LOT 22 & E 75 FT OF LOTS 19-20-21)

CHARLES VASSER  
 305 25TH AVENUE EAST  
 SEATTLE, WASHINGTON 98112

APTC/AN: 501600-2430-07  
 501600-2425-04

MARCH 31, 2009



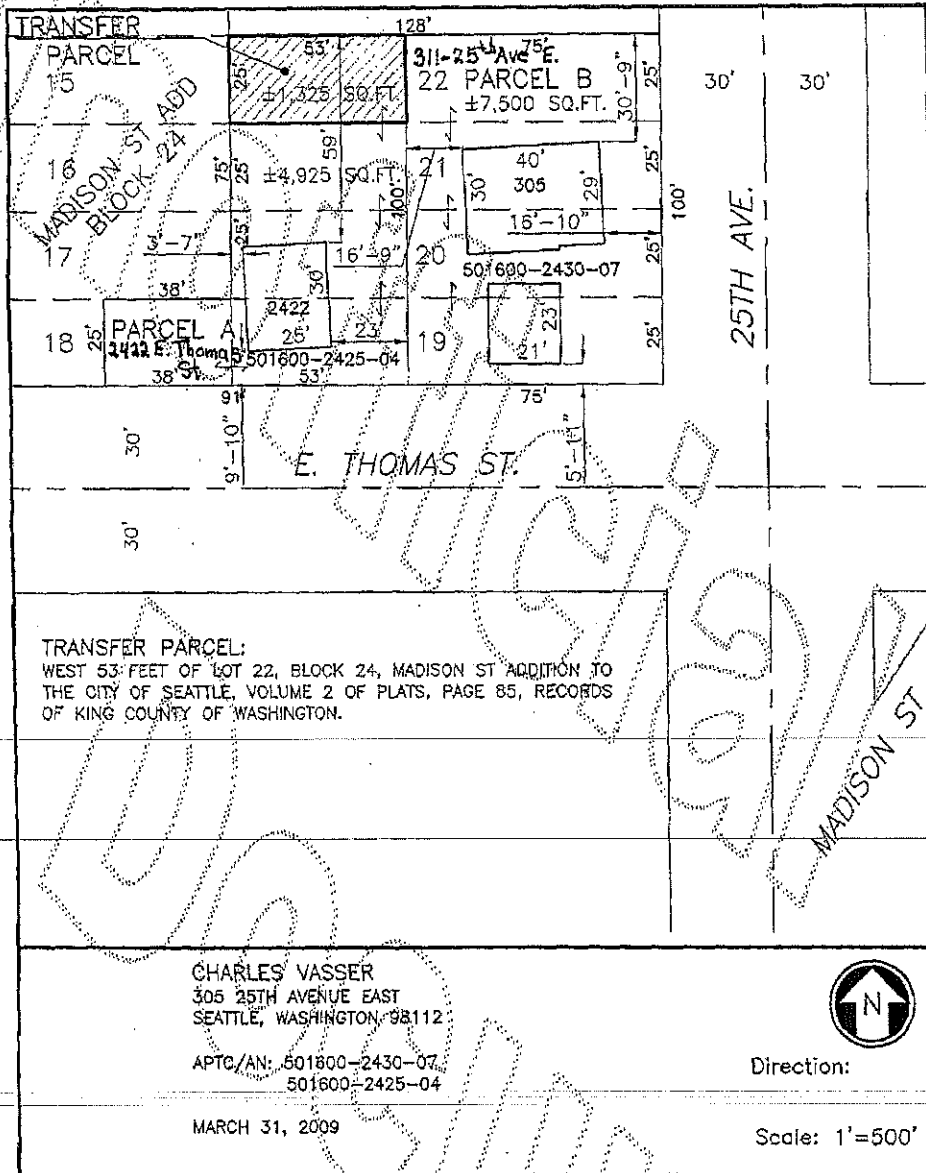
Direction:

Scale: 1"=500'

If the plat is not based upon a survey by a Washington State licensed surveyor, the signatures of the owners of the property are the only surety that the representations on the plat are correct.

Survey Waived: *Kevin Fleming*  
 Department of Planning and Development

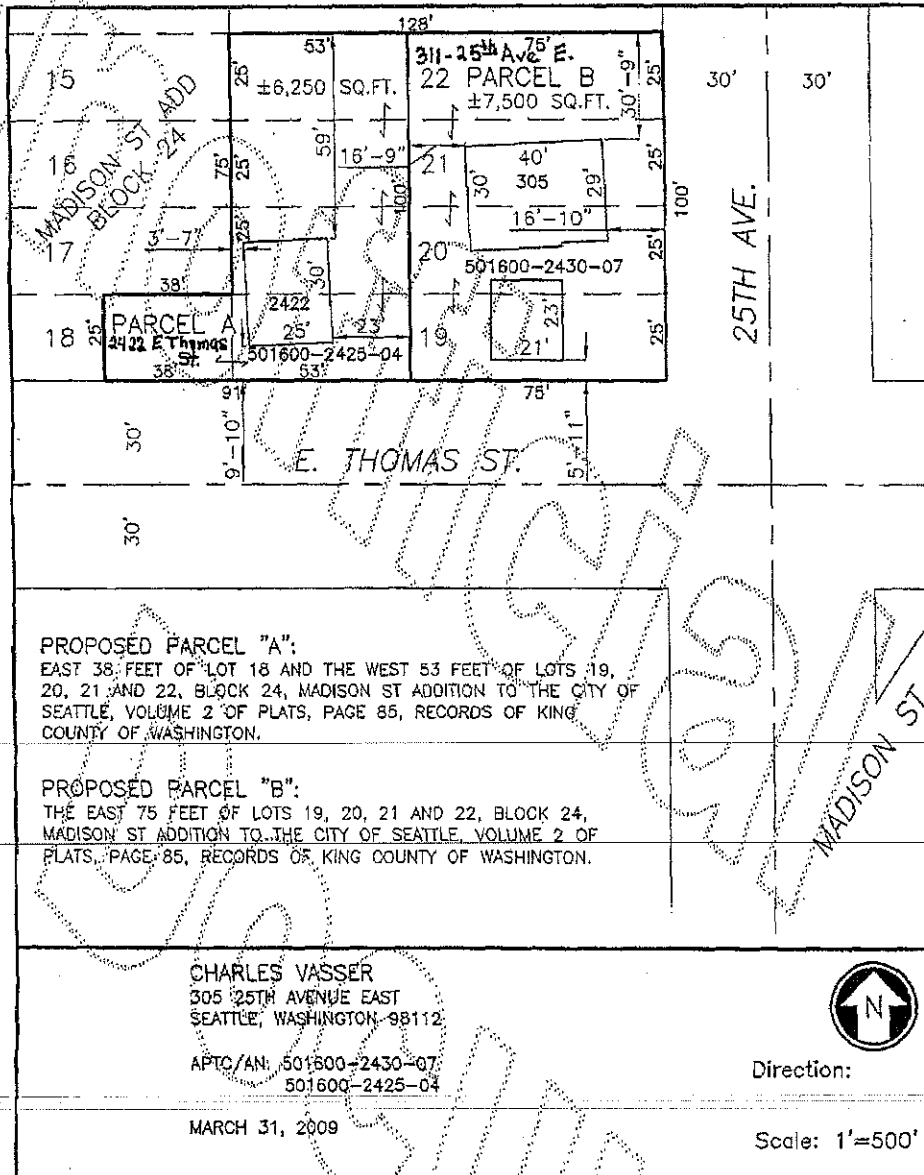
LOT BOUNDARY ADJUSTMENT # 3009824



If the plat is not based upon a survey by a Washington State licensed surveyor, the signatures of the owners of the property are the only surety that the representations on the plat are correct.

Survey Waived: *Charles Vasser*  
Department of Planning and Development

LOT BOUNDARY ADJUSTMENT # 3009824



If the plat is not based upon a survey by a Washington State licensed surveyor, the signatures of the owners of the property are the only surety that the representations on the plat are correct.

Survey Waived: *Anna Fleming*  
 Department of Planning and Development